

CUSTOM RESIDENCE

1016 Emerald Bay
Laguna Beach • California • 92651

Abbreviations

AB	Anchor Bolt	DR	Drawing	MAX	Maximum
AC	Air Conditioning	D.F.	Drinking Fountain	MET	Metal
ACOU	Acoustical	EA	Each	MIN	Minimum
AD	Area Drain	ELEC	Electrical	(N)	New
ADJ	Adjustable	ELEV	Elevation	NIC	Not In Contract
ADJT	Adjacent	EQUIP	Equipment	N.T.S.	Not To Scale
AL	Aluminum	EX	Existing	NAT	Natural
ALT	Alternate	EXP. JT.	Expansion Joint	OC	On Center
APPROX	Approximate	EXT	Exterior	OPG	Opening
ARCH	Architect	EQ	Equal	OD	Outside
ASB	Asbestos	FOF	Face Of Finish	OH	Overhead
ASP	Asphalt	FOC	Face Of Concrete	PLAS	Plaster
ASBO	As Selected By Owner	FS	Face Of Stud	P	Plate
BD	Board	FIN	Finish	PG	Point Grade
BUILD	Building	FP	Fire Proof	PR	Pair
BL	Block	FS	Finish Surface	RAD	Radius
BLK	Blocking	FTG	Foot	REQ	Required
BM	Beam	F.D.	Fire Department	RD	Roof Drain
BOT	Bottom	C.	Connection	RM	Room
BED	Bedroom	G	Galvanized	REV	Revised
BRK	Bracket	G.I.	Galvanized Iron	RWD	Redwood
CAB	Cabinet	GA	Gauge	RO	Rough
CB	Catch Basin	GL	Glass	R.O.	Register
CHA	Cement	GYP	Gypsum	REG	Register
CER	Ceramic	GC	General Contractor	SCH	Schedule
C.I.	Cast Iron	GCWR	Hardware	SECT	Section
CLG	Ceiling	HW	Hardwood	SIM	Similar
CA	Calking	HT	Height	STD	Standard
CL	Center Line	HC	Hollow Core	STL	Steel
CLS	Closest	HM	Hollow Metal	STR	Structural
CLR	Clear	HORIZ	Horizontal	SUSP	Suspended
CMU	Concrete Masonry Unit	HB	Hose Bibb	TEL	Telephone
CTR	Counter	HVAC	Heating Venting AC	TEMP	Temporary
COL	Column	IN	Inch	T&G	Tongue & Groove
CONC	Concrete	ID	Inside Dim.	TC	Top Of Curb/Concrete
COND	Condition	INSUL	Insulation	TS	Top Of Slab
CONN	Connection	INT	Interior	TYP	Typical Top Of Wall
CONST	Construction	INV	Invert	TW	Top of Light
CONT	Continuous	JT	Joint	T.LT.WT.	Weight
CONTR	Contractor	KIT	Kitchen	VTR	Vent Thru Roof
COR	Corridor	LAV	Lavatory	VERT	Vertical
CT	Center	LIN. FT.	Linear Foot	WC	Water Closet
CTSK	Countersink	LNQL	Linoleum	WH	Water Heater
CL	Center Line	LG	Long	WT	Weight
C.T.	Ceramic Tile	LAM	Laminated	WD	Wood
CLR	Clear	LT	Light	WWM	Welded Wire Mesh
DET	Detail	MB	Machine Bolt	WS	Wrought Iron
DIA	Diameter	MECH	Mechanical		Weather Strip
DIM	Dimension				

Notes

- POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREE-STANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.
- PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
- ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THE PERMIT.
- A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING AND UNDERPINNING.
- A LICENSED SURVEYOR SHALL COMPLETE FEMA ELEVATION CERTIFICATE AND SUBMIT IT TO THE BUILDING DEPARTMENT INSPECTOR DURING FINAL INSPECTION.
- ALL MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING ALL DUCTS TO BE AT OR ABOVE BASE FLOOD ELEVATION OF 9.0 MSL. (NAVD 88)

Scope of Work

Remodel and addition to existing residence with landscape and hardscape improvements.

Codes

This Project Shall Comply With The Following Codes:

- 2019 CBC 2019 CPC 2019 Energy 2019 CEC 2019 CRC 2019 CMC
- 2019 CalGreen 2019 BEES NBMC Chap. 15

Deferred Submittals

Deferred submittals shall be reviewed by the project designer or engineer of record and certified prior to submittal for plan review.

Fire Sprinkler Plans

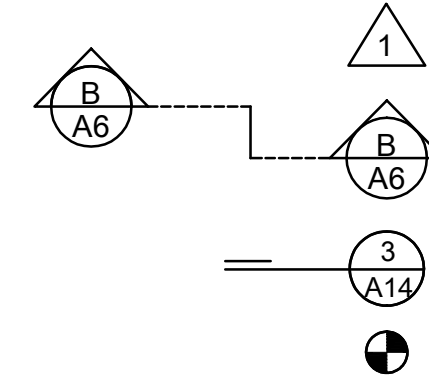
Elevator

Skylights

Symbols

Revision

Section Line
Section Designation
Sheet Number



Detail Key
Detail Designation
Sheet Number

Datum

Project Data

Legal Description

Lot: Lot 62
Tract: 3125
APN: 053-320-73

Occupancy Group: R3 / U
Number of Stories: 2
Type of Construction: VB
Sprinklered:

Site General

Approximate Site Area: 8,265 sq ft
Max. Allowable Coverage: 40.0% 3,346 sq ft
Proposed Coverage: 38.4% 3,299.4 sq ft

Proposed	EXISTING	PROPOSED	SQ FT ADJUSTMENT
Entry Level	2,361.1 sf	2,568.6 sf	+207.5 sf
Lower Level	1,261.8 sf	1,929.4 sf	+667.6 sf
Total Habitable Area	3,622.9 sf	4,498 sf	+875.1 sf
2- Car Garage	499.2 sf	531.8 sf	+32.6 sf
Total Project	4,122.1 sf	5,029.8 sf	
2- Car Garage		-430 sf	
Parking Calculation 4,599.8 sf			
Proposed Deck			
Entry Level	745.66 sf	543.8 sf	-201.86 sf
Total Deck Area		543.8 sf	

Consultants

ARCHITECT:	LANDSCAPE:	CIVIL ENGINEER:	STRUCTURAL ENGINEER:
C.J. Light Associates 1401 Quail Street, Suite 120 Newport Beach, CA 92660 (949) 851-8345 Architect: Christian R. Light Contact: Vanessa Espino	Daniel Stewart & Assoc. Landscape Architects 2753 Camino Capistrano B-2 San Clemente, CA 92672 (949) 361-9388 Contact: Daniel Stewart	CivilScapes Engineering, Inc. 28052 Camino Capistrano, Suite 213 Laguna Niguel, CA 92677 (949) 464-8115 Contact: William Rolph	ESIFME, Inc. 1800 E. 16th St. STE. B Santa Ana, CA 92701 (714) 835-2800 Contact: Fahad Marshadi

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4	Details
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TP1	1960's Topo
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C2	Grading Plan
C3	Storm Drainage Plan
C4	Erosion Control Plan

Owner / Client

Doug & Joan Hansen
1016 Emerald Bay
Laguna Beach, CA 92651

Vicinity Map



1016 Emerald Bay
Laguna Beach, CA 92651



CHRISTIAN R. LIGHT, ARCHITECT

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COVER SHEET

CJLA No. 2120
Scale:
Date: 7-26-22



CS



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SITE PLAN

CJLA No. 2120
Scale: 3/16" = 1'-0"
Date: 7-26-22



SP1

Legend



SITE PLAN NOTES

X SYMBOL

SITE PLAN

- P1. EXISTING STRUCTURE FOOTPRINT
- P2. PROPERTY LINE (TYPICAL)
- P3. SETBACK LINE (TYPICAL)
- P4. ROOF LINE ABOVE
- P5. NEW 6'-0" WOOD GATE
- P6. EXISTING WALL & FENCE TO REMAIN
- P7. NEW WATER FEATURE W/ SUBMERSIBLE PUMP
- P8. FOUNTAIN PUMP VAULT - FOUNTAIN MUST BE LOW VOLUME & NOISE
- P9. PLANTING TRELLIS COVER
- P10. NEW METAL TRELLIS COVER
- P11. NEW STEPS
- P12. NEW HANDRAIL
- P13. NEW GUARDRAIL
- P14. NEW A/C UNIT LOCATION
- P15. NEW POTTING SHED
- P16. NEW BENCH
- P17. SITE WALL
- P18. PLANTING
- P19. PRIVACY SCREEN ABOVE
- P20. PLANTING HEDGE
- P21. NEW CONCRETE CURB
- P22. EXISTING PLANTER
- P23. EXISTING CURB

SITE DRAINAGE:

PROVIDE 5% DRAINAGE AROUND / AWAY FROM BUILDING FOR A MINIMUM OF 10'-0". ALTERNATELY, SWALES WITH A SLOPE OF 2% SHALL BE LOCATED WITHIN 10'-0" OF THE BUILDING FOUNDATION.

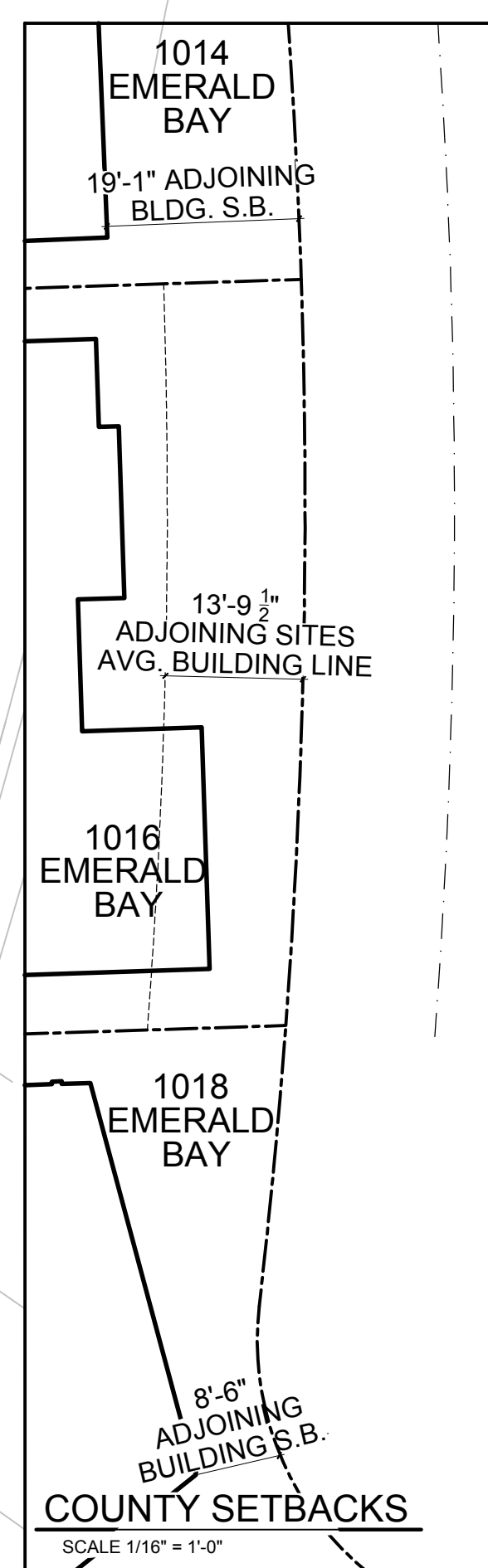
COUNTY FRONT YARD SETBACK CALCULATION

West Neighbor Building Setback: 19'-1"
East Neighbor Building Setback: 8'-6"
Average Front Setback (19'-1"+8'-6")/2 = 13'-9 1/2"

1014 EMERALD BAY

1016 EMERALD BAY

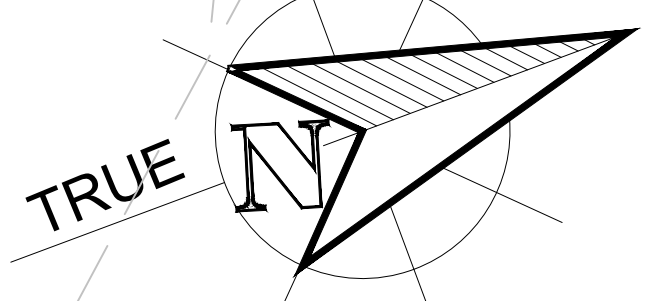
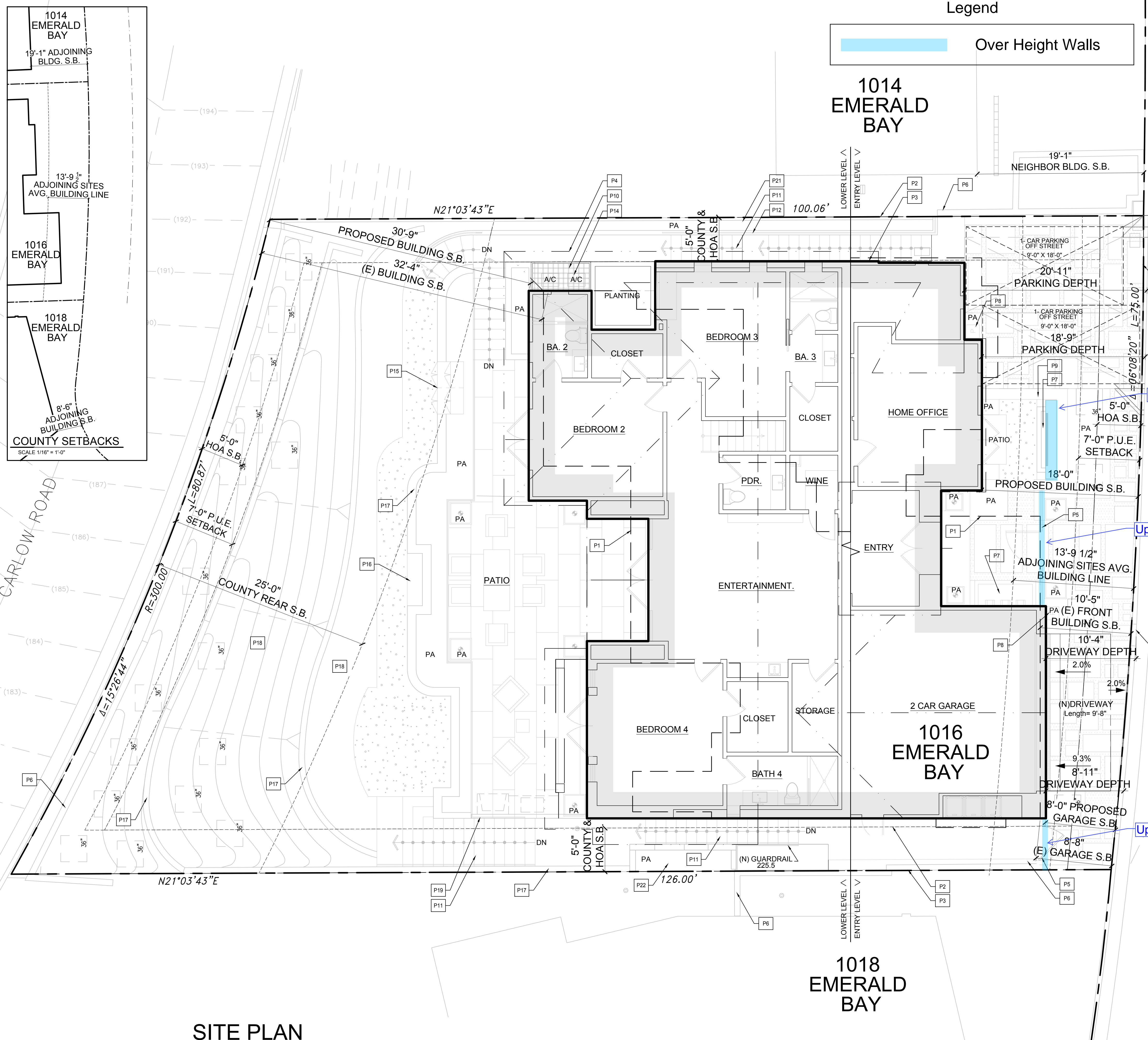
1018 EMERALD BAY



SCALE 1/16" = 1'-0"

SITE PLAN

SCALE 3/16" = 1'-0"





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GENERAL NOTES

THIS ARCHITECTURAL FOUNDATION PLAN IS FOR DIMENSIONAL INFORMATION ONLY. THE CONTRACTOR SHALL REFER TO THE STRUCTURAL FOUNDATION PLAN FOR ALL STRUCTURAL REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THERE IS ANY DISCREPANCY BETWEEN THE ARCHITECTURAL FOUNDATION PLAN AND THE STRUCTURAL FOUNDATION PLAN.

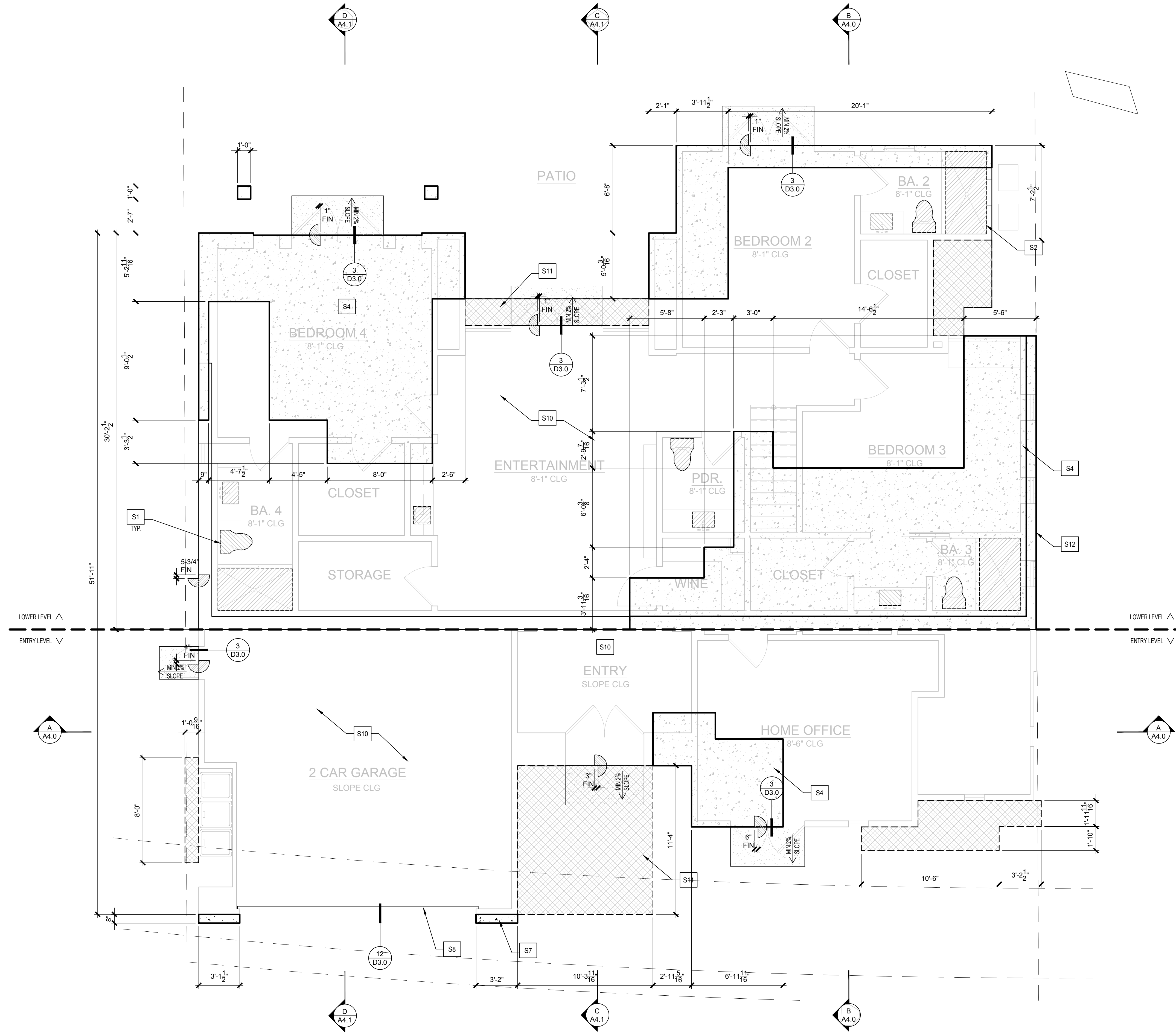
A VAPOR RETARDER AND CAPILARY BREAK ARE REQUIRED TO BE INSTALLED AT THE SLAB ON GRADE FOUNDATIONS. REFER TO GEOTECHNICAL RECOMMENDATIONS FOR ADDITIONAL REQUIREMENTS.

SLAB EDGE NOTES

XX SYMBOL

- 0. SLAB EDGE
- S1. HATCHING INDICATES PLUMBING FIXTURES - PROVIDE GAS, PLUMBING, OR ELECTRICAL AS REQUIRED.
- S2. DEPRESSED SLAB @ SHOWER
- S3. CONCRETE ENCASED GROUNDING ELECTRODE: PROVIDE (1) 20 FOOT LONG #4 BAR IN FOOTING AND EXTEND OUT OF CURB 12 INCHES FOR GROUNDING OF ELECTRICAL SYSTEM (VERIFY EXACT LOCATION).
- S4. TYPICAL SLAB ON GRADE - REFER TO STRUCTURAL DRAWINGS.
- S5. NOT USED
- S6. CONCRETE STEPS - MAXIMUM RISE 7 1/2", MIN. RUN 10". FINISH TO BE VERIFIED BY CONTRACTOR.
- S7. CONCRETE CURB, STEM WALL - REFER TO STRUCTURAL PLANS
- S8. GARAGE DOOR DEPRESSION - REFER TO DETAIL
- S9. CONCRETE STOOP, MINIMUM 36 INCH DEEP AND WIDTH OF DOOR. SLOPE 1/4 INCH PER FOOTAWAY FROM BUILDING. COORDINATE W/ LANDSCAPE DESIGN AND FINISH
- S10. EXISTING CONCRETE SLAB / FOUNDATION TO REMAIN
- S11. EXISTING CONCRETE SLAB / FOUNDATION TO BE REMOVED AS NECESSARY
- S12. 12" CONCRETE RETAINING WALL

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SLAB INTERFACE PLAN

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SLAB INTERFACE PLAN

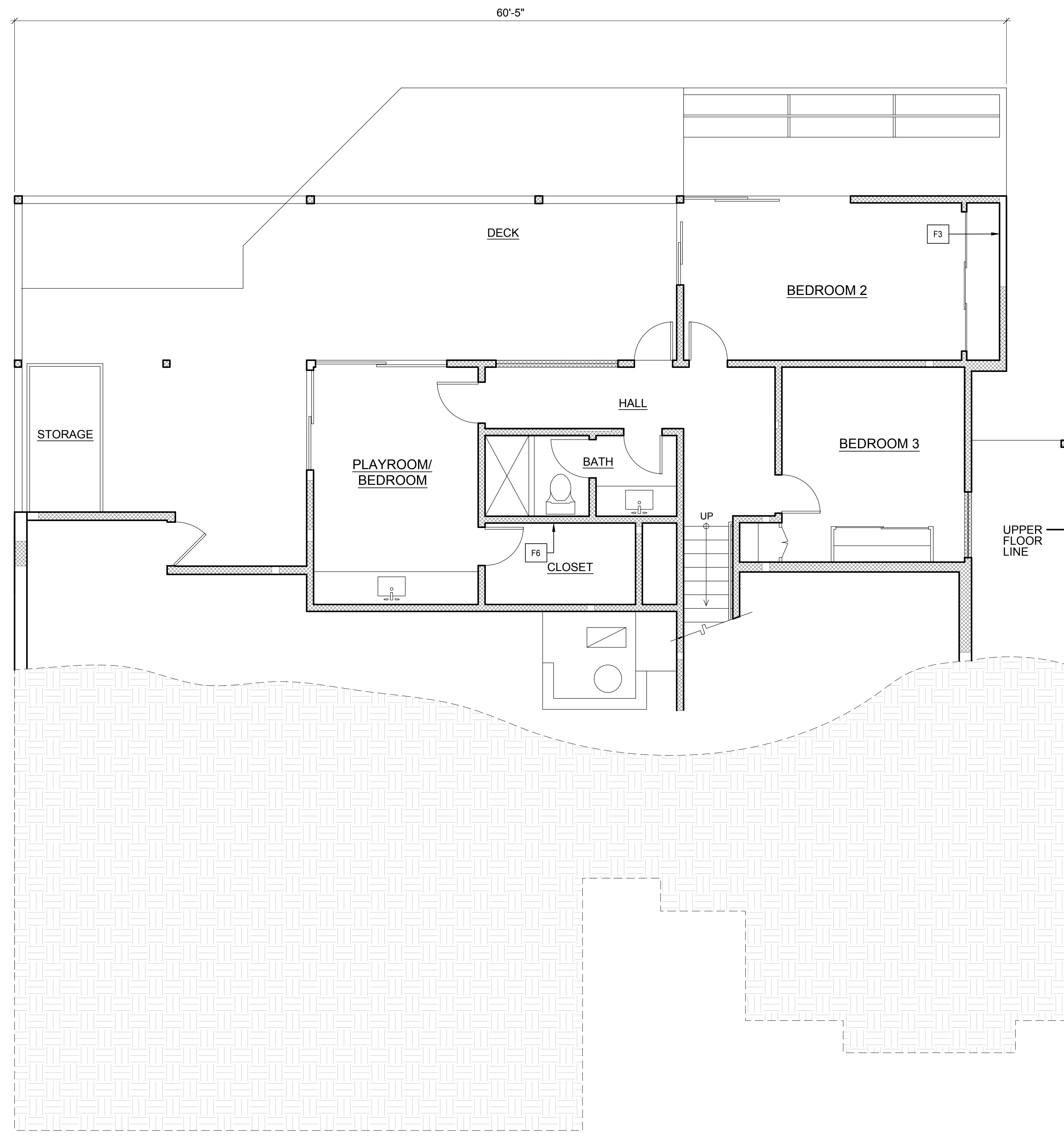
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FOUNDATION LEGEND

- EXISTING SLAB / CONCRETE TO REMAIN
- EXISTING SLAB / CONCRETE TO BE REMOVED
- NEW SLAB (PER STRUCTURAL)
- NEW CONCRETE WALLS (PER STRUCTURAL)



A1.0



GENERAL NOTES

- ▲ = TEMPERED GLASS (TYP)
- = EMERGENCY EGRESS WINDOW (TYP)

PROVIDE THE FOLLOWING FOR EGRESS WINDOWS:

1. 5.7 SQ. FT. OF CLEAR OPERABLE AREA
2. NET CLEAR OPENING HEIGHT SHALL BE 24" MIN.
3. NET CLEAR OPENING WIDTH SHALL BE 20" MIN.
4. BOTTOM OF WINDOW OPENING SHALL NOT BE MORE THAN 44" ABOVE FINISHED FLOOR.

FLOOR PLAN NOTES

XX SYMBOL

- FLOOR PLAN
- F1. NEW 2 x 6 STUD WALLS (SHADED) REFER TO STRUCTURAL PLANS
 - F2. NEW 2 x 4 STUD WALLS (SHADED/HATCHED) REFER TO STRUCTURAL PLANS
 - F3. EXISTING WALLS TO REMAIN (CLEAR)
 - F4. 30" x 30" MINIMUM ATTIC ACCESS PANEL
 - F5. ATTIC FAU - PROVIDE 30" WIDE CATWALK FROM ACCESS TO UNIT - REFER TO SHEET A5.0? FOR LOCATION.
 - F6. EXISTING WALLS TO BE REMOVED
 - F7. BASE CABINET - REFER TO INTERIOR DRAWINGS
 - F8. UPPER CABINET - REFER TO INTERIOR DRAWINGS
 - F9. ISLAND CABINET - REFER TO INTERIOR DRAWINGS
 - F10. CABINETS - REFER TO INTERIOR DRAWINGS
 - F11. HANDRAIL - REFER TO DETAIL TBD.
 - F12. 42" GUARDRAIL - REFER TO APPLICABLE DETAILS
 - F13. COMPACT RANGE / OVEN COMBO
 - F14. FIREPLACE BY TBD
 - F15. DISHWASHER SPACE
 - F16. GAS RANGE W/ EXHAUST HOOD VENTED DIRECTLY TO OUTSIDE AIR.
 - F17. OVEN INSTALLED IN ACCORDANCE W/ MANUF SPECIFICATIONS
 - F18. REFRIGERATOR SPACE
 - F19. TANKLESS WATER HEATER LOCATION
 - F20. KITCHEN SINK W/ GARBAGE DISPOSAL
 - F21. BASE CABINET W/ LAV SINK - REFER TO CABINET DRAWINGS BY OTHERS
 - F22. WATER CLOSET - PROVIDE 30" MIN WIDTH, 24" MIN CLEARANCE IN FRONT
 - F23. CORROSIVE RESISTANT DECK DRAIN W/ OVERFLOW PIPED SEPARATELY
 - F24. MUDSET TILE SHOWER TO MIN 84" A.F.F. PROVIDE TEMPERED / SHATTER RESISTANT ENCLOSURE
 - F25. 15" WIDE BENCH SLOPED TO DRAIN. VERIFY HEIGHT W/ OWNER
 - F26. PROPERTY LINE FOR REFERENCE
 - F27. SETBACK LINE FOR REFERENCE
 - F28. SOFFIT - SEE INTERIOR DWG'S
 - F29. A/C CONDENSER
 - F30. PROVIDE WATER SUPPLY AND DRAIN FOR PLANTING POT
 - F31. JETTED BATHTUB
 - F32. LAUNDRY SINK
 - F33. SKYLIGHT - REFER TO WINDOW SCHEDULE
 - F34. WASHER SPACE - PROVIDE HOT / COLD WATER AND DRAIN
 - F35. DRYER SPACE. PROVIDE DRYER VENT TO OUTSIDE AIR W/ BACK DRAFT DAMPER. VENT SHALL BE SMOOTH WALL METAL W/O SCREW CONNECTIONS
 - F36. SHOWER
 - F37. CLOSET POLE/SHELF - SEE INTERIOR DWG'S
 - F38. BUILT UP FLAT ROOF - REFER TO ROOF PLAN
 - F39. 5/8" TYPE 'X' GYPSUM BOARD ON WALLS SEPARATING HOUSE FROM GARAGE
 - F40. 5/8" TYPE 'X' GYPSUM BOARD ON CEILING SEPARATING HOUSE FROM GARAGE
 - F41. WATER FEATURE
 - F42. FOUNTAIN PUMP VAULT - FOUNTAIN MUST BE LOW VOLUME AND NOISE
 - F43. WATERPROOF DECK COVERING BY DEX-O-TEX ICC ESR 1757
 - F44. PRIVACY WALL
 - F45. FLOOR AREA REMOVED
 - F46. FLOOR AREA ADDED
 - F47. EXISTING HOUSE PERIMETER

ALL APPLIANCE, FIXTURE AND OTHER EQUIPMENT INSTALLATION REQUIREMENTS SHALL BE VERIFIED AND ACCORDINGLY PROVIDED BY EACH TRADE AS PART OF THEIR BASIC SCOPE OF WORK. THIS SHALL INCLUDE SPACE, UTILITIES, ETC.

FIREPLACE SYSTEMS USED IN SEISMIC DESIGN CATEGORY D & E ARE LIMITED TO THOSE INCORPORATING LISTED AND LABELED FACTORY BUILT CHIMNEYS.

ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES AS NOTED IN THE RESIDENTIAL CONSTRUCTION MINIMUM STANDARDS

ALL EXTERIOR WALLS SHALL BE 2 X 6 STUDS W/ R-19 INSULATION

PROVIDE R-30 INSULATION THROUGHOUT ATTIC AND INDIVIDUAL RAFTER BAYS AT SLOPED CEILINGS.

REFER TO INTERIOR DRAWINGS PREPARED BY OTHERS FOR ALL INTERIOR FINISHES AND CEILING TREATMENTS



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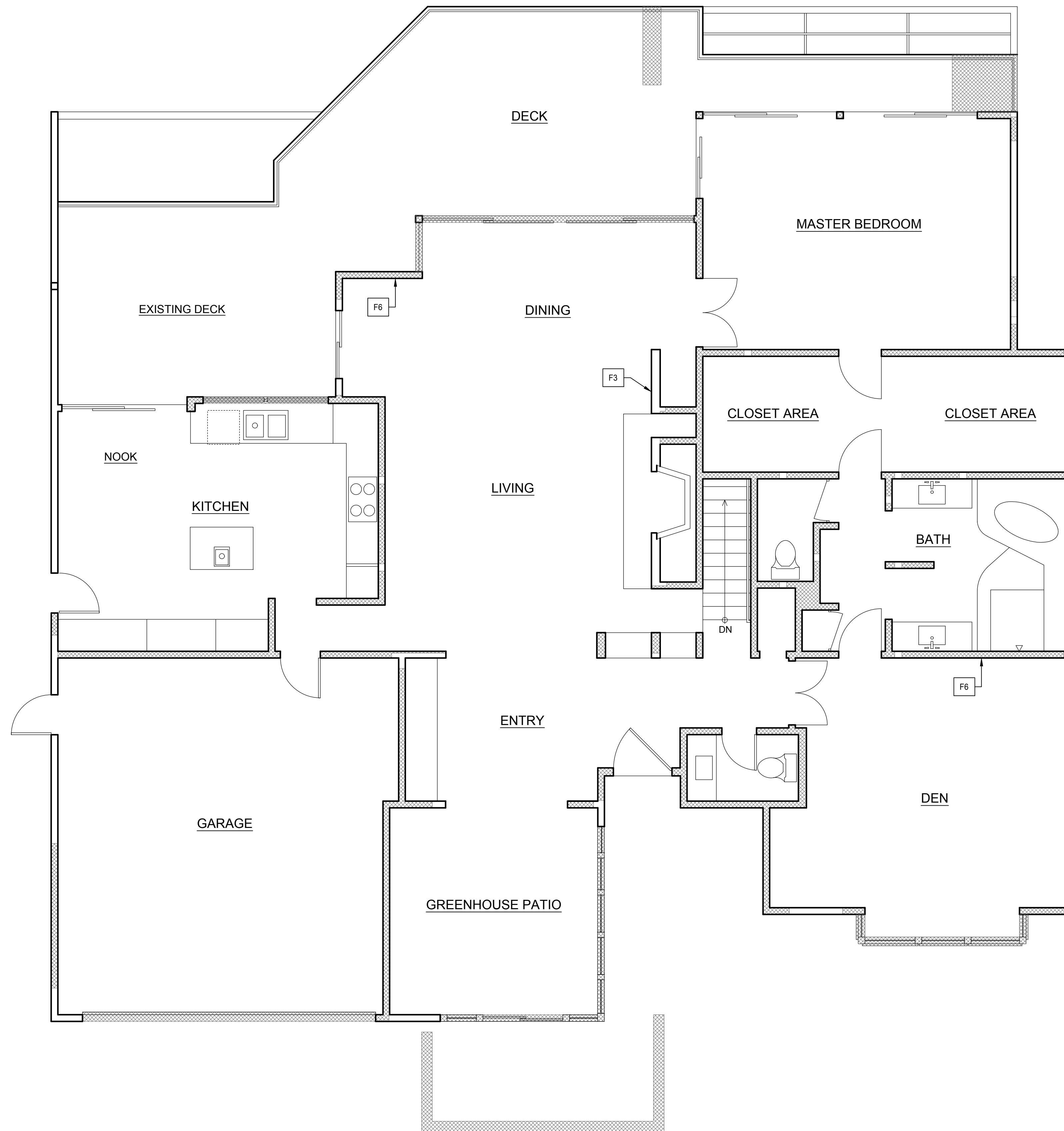
LOWER LEVEL EXISTING FLOOR / DEMOLITION PLAN

CJLA No. 2120
Scale: 1/4" = 1'-0"
Date: 7-26-22



LOWER LEVEL EXISTING FLOOR / DEMOLITION PLAN

A2.0



ENTRY LEVEL EXISTING FLOOR / DEMOLITION PLAN

GENERAL NOTES

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- = EMERGENCY EGRESS WINDOW (TYP)

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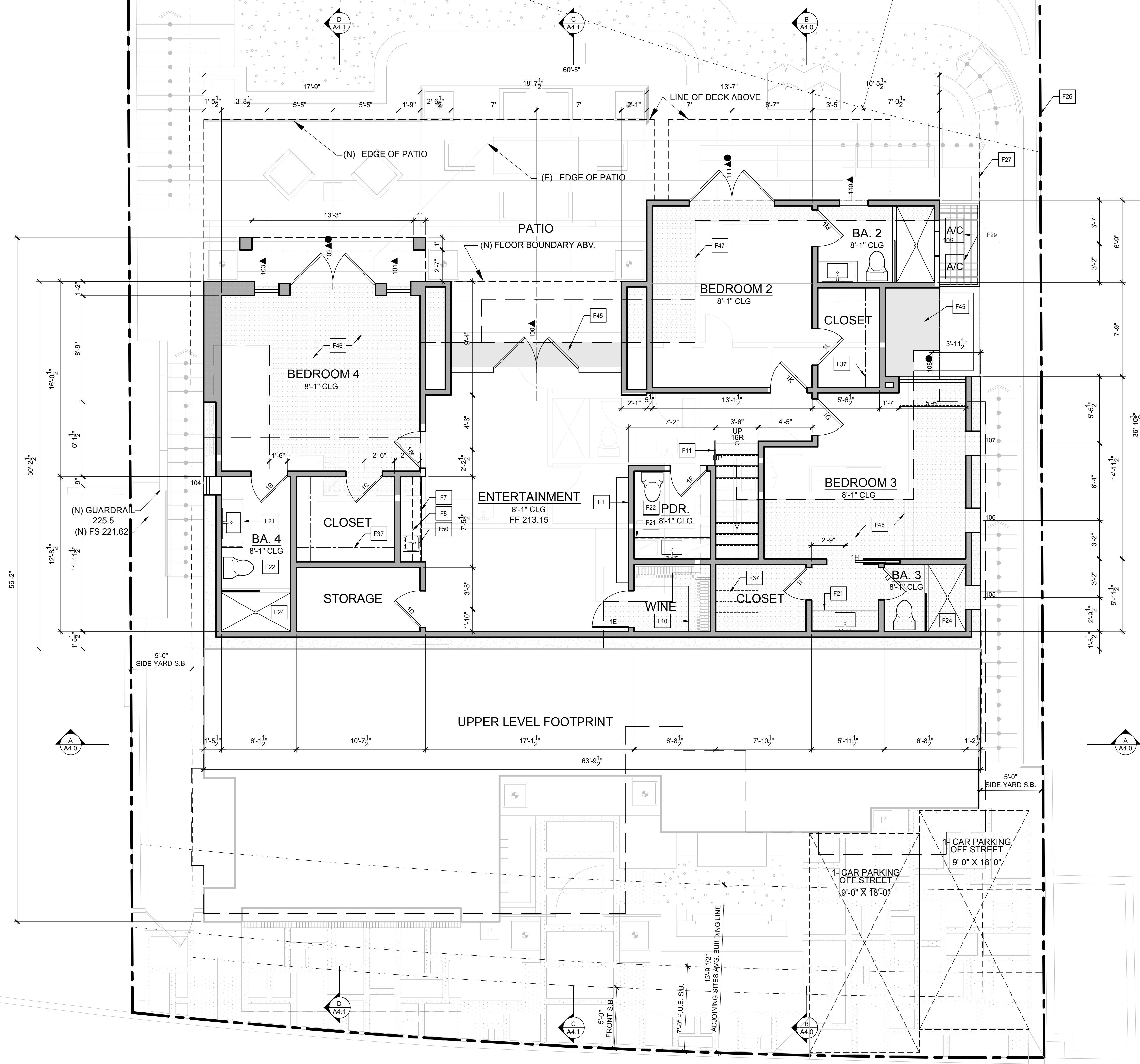
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ENTRY LEVEL EXISTING FLOOR / DEMOLITION PLAN

CJLA No. 2120
Scale: 1/4"=1'-0"
Date: 7-26-22





LOWER LEVEL FLOOR PLAN

GENERAL NOTES

- ▲ = TEMPERED GLASS (TYP)
 - = EMERGENCY EGRESS WINDOW (TYP)
- PROVIDE THE FOLLOWING FOR EGRESS WINDOWS:
1. 5.7 SQ. FT. OF CLEAR OPERABLE AREA
 2. NET CLEAR OPENING HEIGHT SHALL BE 24" MIN.
 3. NET CLEAR OPENING WIDTH SHALL BE 20" MIN.
 4. BOTTOM OF WINDOW OPENING SHALL NOT BE MORE THAN 44" ABOVE FINISHED FLOOR.

FLOOR PLAN NOTES

- | XX | SYMBOL |
|-----|--|
| F1 | NEW 2 x 6 STUD WALLS (SHADED) REFER TO STRUCTURAL PLANS |
| F2 | NEW 2 x 4 STUD WALLS (SHADED/HATCHED) REFER TO STRUCTURAL PLANS |
| F3 | EXISTING WALLS TO REMAIN (CLEAR) |
| F4 | 30" x 30" MINIMUM ATTIC ACCESS PANEL |
| F5 | ATTIC FAU - PROVIDE 30" WIDE CATWALK FROM ACCESS TO UNIT - REFER TO SHEET A5.07 FOR LOCATION. |
| F6 | EXISTING WALLS TO BE REMOVED |
| F7 | BASE CABINET - REFER TO INTERIOR DRAWINGS |
| F8 | UPPER CABINET - REFER TO INTERIOR DRAWINGS |
| F9 | ISLAND CABINET - REFER TO INTERIOR DRAWINGS |
| F10 | CABINETS - REFER TO INTERIOR DRAWINGS |
| F11 | HANDRAIL - REFER TO DETAIL TBD. |
| F12 | 42" GUARDRAIL - REFER TO APPLICABLE DETAILS |
| F13 | COMPACT RANGE / OVEN COMBO |
| F14 | FIREPLACE BY ? |
| F15 | DISHWASHER SPACE |
| F16 | GAS RANGE W/ EXHAUST HOOD VENTED DIRECTLY TO OUTSIDE AIR. |
| F17 | OVEN INSTALLED IN ACCORDANCE W/ MANUF SPECIFICATIONS |
| F18 | REFRIGERATOR SPACE |
| F19 | TANKLESS WATER HEATER LOCATION |
| F20 | KITCHEN SINK W/ GARBAGE DISPOSAL |
| F21 | BASE CABINET W/ LAV SINK - REFER TO CABINET DRAWINGS BY OTHERS |
| F22 | WATER CLOSET - PROVIDE 30" MIN WIDTH, 24" MIN CLEARANCE IN FRONT |
| F23 | CORROSIVE RESISTANT DECK DRAIN W/ OVERFLOW PIPED SEPARATELY |
| F24 | MUSET TILE SHOWER TO MIN 84" A.F.F. PROVIDE TEMPERED / SHATTER RESISTANT ENCLOSURE |
| F25 | 15" WIDE BENCH SLOPED TO DRAIN. VERIFY HEIGHT W/ OWNER |
| F26 | PROPERTY LINE FOR REFERENCE |
| F27 | SETBACK LINE FOR REFERENCE |
| F28 | SOFFIT - SEE INTERIOR DWG'S |
| F29 | A/C CONDENSER |
| F30 | ELECTRICAL PANEL |
| F31 | JETTED BATHTUB |
| F32 | LAUNDRY SINK |
| F33 | SKYLIGHT - REFER TO WINDOW SCHEDULE |
| F34 | WASHER SPACE - PROVIDE HOT / COLD WATER AND DRAIN |
| F35 | DRYER SPACE. PROVIDE DRYER VENT TO OUTSIDE AIR W/ BACK DRAFT DAMPER. VENT SHALL BE SMOOTH WALL METAL W/O SCREW CONNECTIONS |
| F36 | SHOWER |
| F37 | CLOSET POLE/SHELF - SEE INTERIOR DWG'S |
| F38 | BUILT UP FLAT ROOF - REFER TO ROOF PLAN |
| F39 | 5/8" TYPE 'X' GYPSUM BOARD ON WALLS SEPARATING HOUSE FROM GARAGE |
| F40 | 5/8" TYPE 'X' GYPSUM BOARD ON CEILING SEPARATING HOUSE FROM GARAGE |
| F41 | WATER FEATURE |
| F42 | FOUNTAIN PUMP VAULT - FOUNTAIN MUST BE LOW VOLUME AND NOISE |
| F43 | WATERPROOF DECK COVERING BY DEX-O-TEX ICC ESR 1757 |
| F44 | PRIVACY WALL |
| F45 | FLOOR AREA REMOVED |
| F46 | FLOOR AREA ADDED |
| F47 | EXISTING HOUSE PERIMETER |
| F48 | WINE FRIDGE |
| F49 | ICE MAKER |
| F50 | BAR SINK |

ALL APPLIANCE, FIXTURE AND OTHER EQUIPMENT INSTALLATION REQUIREMENTS SHALL BE VERIFIED AND ACCORDINGLY PROVIDED BY EACH TRADE AS PART OF THEIR BASIC SCOPE OF WORK. THIS SHALL INCLUDE SPACE, UTILITIES, ETC.

FIREPLACE SYSTEMS USED IN SEISMIC DESIGN CATEGORY D & E ARE LIMITED TO THOSE INCORPORATING LISTED AND LABELED FACTORY BUILT CHIMNEYS.

ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES AS NOTED IN THE RESIDENTIAL CONSTRUCTION MINIMUM STANDARDS

ALL EXTERIOR WALLS SHALL BE 2 X 6 STUDS W/ R-19 INSULATION

PROVIDE R-30 INSULATION THROUGHOUT ATTIC AND INDIVIDUAL RAFTER BAYS AT SLOPED CEILING.

REFER TO INTERIOR DRAWINGS PREPARED BY OTHERS FOR ALL INTERIOR FINISHES AND CEILING TREATMENTS



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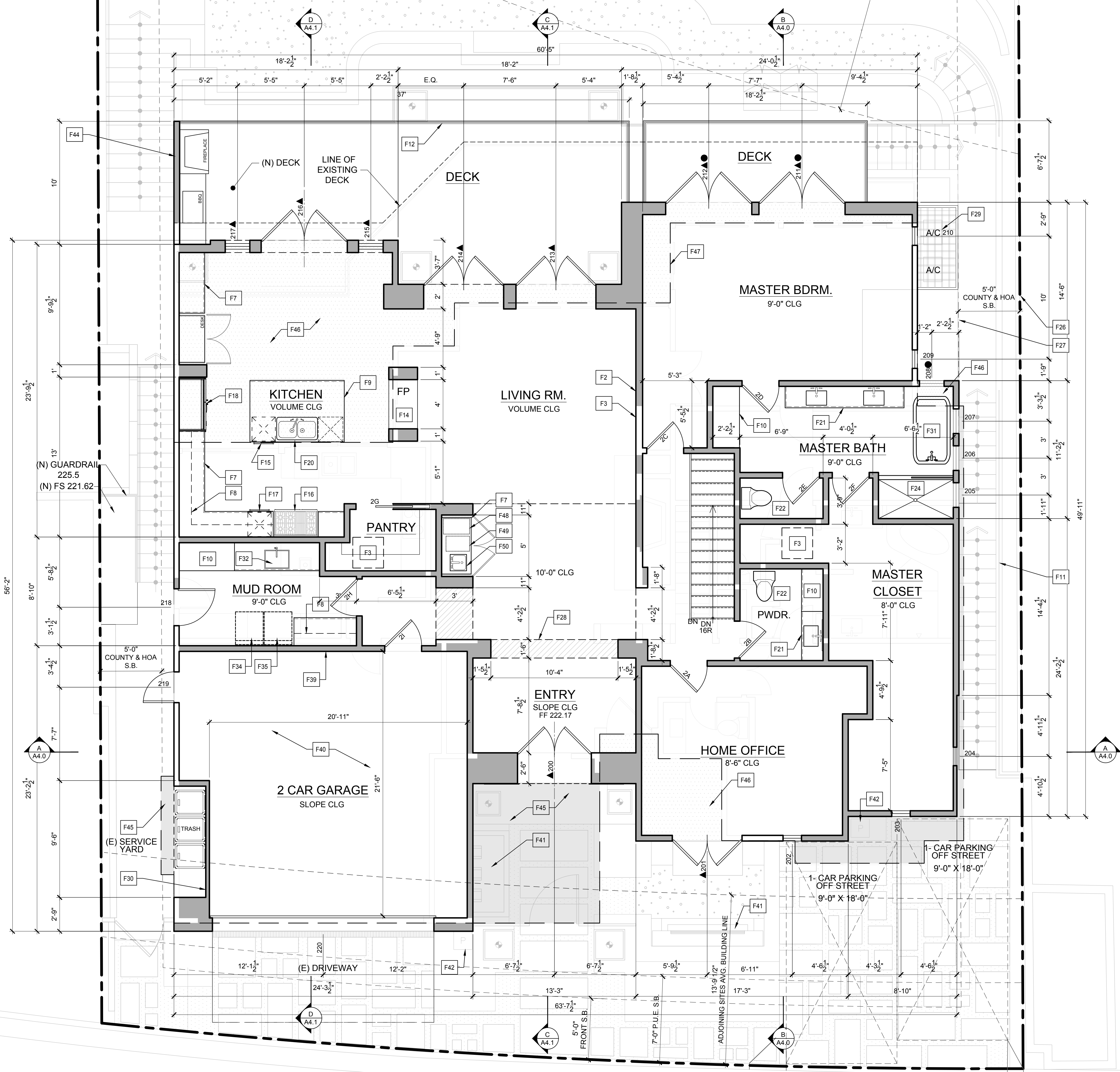
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LOWER LEVEL FLOOR PLAN

CJLA No. 2120
 Scale: 1/4"=1'-0"
 Date: 7-26-22





ENTRY LEVEL FLOOR PLAN

GENERAL NOTES

- ▲ = TEMPERED GLASS (TYP)
- = EMERGENCY EGRESS WINDOW (TYP)

PROVIDE THE FOLLOWING FOR EGRESS WINDOWS:

1. 5.7 SQ. FT. OF CLEAR OPERABLE AREA
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FLOOR PLAN NOTES

- | | |
|----|--------|
| XX | SYMBOL |
|----|--------|
- F1. NEW 2 x 6 STUD WALLS (SHADED) REFER TO STRUCTURAL PLANS
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 - F5. ATTIC FAU - PROVIDE 30" WIDE CATWALK FROM ACCESS TO UNIT - REFER TO SHEET A6.1 FOR LOCATION.
 - F6. EXISTING WALLS TO BE REMOVED
 - F7. BASE CABINET - REFER TO INTERIOR DRAWINGS
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ENTRY LEVEL FLOOR PLAN

CJLA No. 2120
 Scale: 1/4" = 1'-0"
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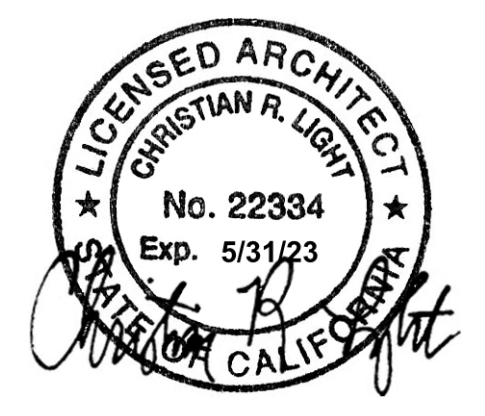
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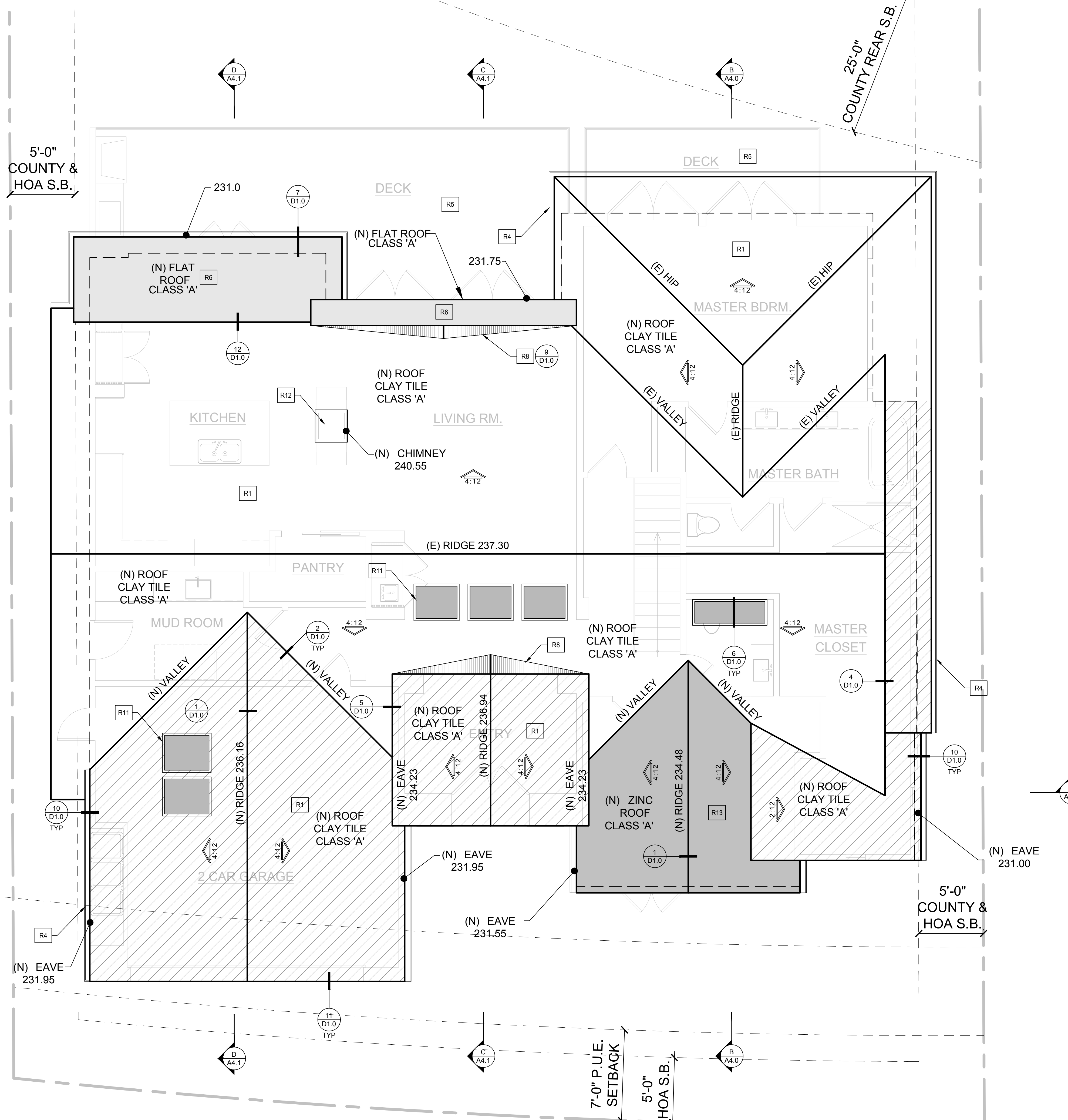
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REFER TO INTERIOR DRAWINGS PREPARED BY OTHERS FOR ALL INTERIOR FINISHES AND CEILING TREATMENTS





ROOF PLAN NOTES

- XX SYMBOL
- PROVIDE ATTIC VENTILATION PER CRC 806
- 0. ROOF
- R1. TYPICAL SLOPED ROOF ASSEMBLY:
 - A. ROOFING MATERIAL CLAY TILE
 - B. UNDERLAYMENT PER MANUFACTURER
 - C. ROOF SHEATHING PER STRUCTURAL DRAWINGS
 - D. ROOF FRAMING PER STRUCTURAL DRAWINGS
- R2. FLAT ROOF / DECK - ELASTATEX 500 URETHENE MEMBRANE, MINIMUM CLASS 'A' RATING (OR EQUAL), ICC ES REPORT ESR-1757. SLOPE 1/4" PER FOOT MIN. TO DRAINS
- R3. FLASHING @ BUILT UP ROOF
- R4. COPPER GUTTER SYSTEM
- R5. BALCONY BELOW
- R6. NEW LOW-SLOPE BUILT-UP ROOF AREA LIQUID COATS B/W ROOF SHEETS O/ PLYWOOD DECK 1/2-12" MIN
- R7. INTERNAL ROOF DRAIN - 6" CAST IRON DRAIN W/ 3" PIPE
- R8. BUILT UP CRICKET
- R9. LINE OF STRUCTURE BELOW
- R10. SLOPED METAL ROOF
- R11. NON-REFLECTIVE GLAZING WITHOUT UP-LIGHTING
- R.12 CHIMNEY W/ METAL CAP
- R.13 STANDING SEAM ZINC ROOF



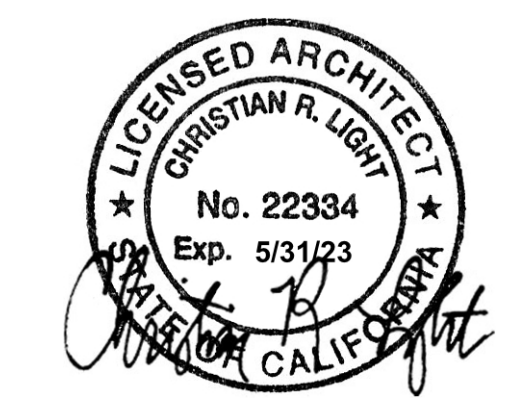
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ROOF PLAN

CJLA No. 2120
 Scale: 1/4"=1'-0"
 Date: 7-26-22



ROOF PLAN

A3.0

GENERAL NOTES

- A. TYPICAL CONSTRUCTION ASSEMBLIES: CROSS SECTIONS OF TYPICAL CONSTRUCTION ASSEMBLIES ARE DESCRIBED BY A CONSECUTIVE LISTING OF MATERIAL. EXTERIOR ASSEMBLIES SUCH AS ROOFS AND EXTERIOR WALLS LIST MATERIALS IN ORDER FROM EXTERIOR SURFACES TO INTERIOR SURFACES. HORIZONTAL ASSEMBLIES SUCH AS FLOORS AND SLABS LIST MATERIAL FROM TOP TO BOTTOM. INTERIOR ASSEMBLIES LIST MATERIALS FROM ONE SIDE TO OTHER. REFER TO DETAILS AND SPECIFICATIONS FOR INSTALLATION AND ADDITIONAL INFORMATION.
- B. STRUCTURAL FRAMING: REFER TO STRUCTURAL DRAWINGS FOR FRAMING MEMBER SPECIES, GRADES, SIZES, SPACING, CONNECTIONS, ROOF AND FLOOR SHEATHING, PLYWOOD SHEAR WALLS AND ADDITIONAL INFORMATION.



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SECTION NOTES

XX SYMBOL

0. SECTIONS

1. TYPICAL SLOPED ROOF ASSEMBLY:
- ROOFING MATERIAL - PER ROOF PLAN.
 - UNDERLAYMENT - PER MANUFACTURER'S RECOMMENDATIONS.
 - PLYWOOD SHEATHING - PER STRUCTURAL ENGINEER.
 - CALIFORNIA FRAMING (WHERE OCCURS).
 - WOOD RAFTERS PER STRUCT DWGS.
 - INSULATION PER T-24 CALCS.
 - 2x CEILING JOISTS (WHERE OCCURS).
 - 5/8" GYPSUM WALLBOARD
2. TYPICAL EXTERIOR WALL ASSEMBLY:
- EXTERIOR CLADDING MATERIAL (PROVIDE 2 LAYERS GRADE 'D' BUILDING PAPER MIN O/ ALL WOOD BASED SHEATHING)
 - PLYWOOD SHEAR PANELS PER STRUCT DWGS
 - 2 x 6 WALL FRAMING WITH R-19 INSULATION PER T-24.
 - 5/8" GYPSUM WALLBOARD
3. TYPICAL INTERIOR WALL ASSEMBLY:
- 5/8" GYPSUM WALLBOARD (TYPE "X" WHERE REQUIRED).
 - 2 x 4 or 2 x 6 WALL FRAMING.
 - PLYWOOD SHEAR PANELS (WHERE INDICATED).
 - 5/8" GYPSUM WALLBOARD (TYPE "X" WHERE REQUIRED).
4. TYPICAL FLOOR/CEILING ASSEMBLY
- FLOOR FINISH
 - SUBFLOOR SHEATHING MATERIAL THICKNESS PER STRUCT. ENGINEER.
 - FLOOR JOISTS - PER STRUCT. ENGINEER.
 - 2x WOOD FURRING (WHERE OCCURS).
 - 5/8" GYPSUM WALLBOARD (TYPE "X" WHERE OCCURS) OR OTHER CEILING FINISH
5. CONCRETE SLAB - REFER TO STRUCTURAL
6. DECK ASSEMBLY:
- WATERPROOF DECK COATING PER MANUFACTURER'S REQUIREMENTS
 - EXTERIOR GRADE PLYWOOD SUBFLOOR, REFER TO STRUCTURAL DWGS.
 - FLOOR JOISTS PER STRUCTURAL ENGINEER
 - 2x FURRING WHERE OCCURS
 - GYP. BD. (TYPE "X" WHERE OCCURS) OR STUCCO OVER HIGH RIBBED LATH AT SOFFITS
 - 42" GUARD RAIL
 - DOOR PER PLAN
 - 12" RETAINING WALL

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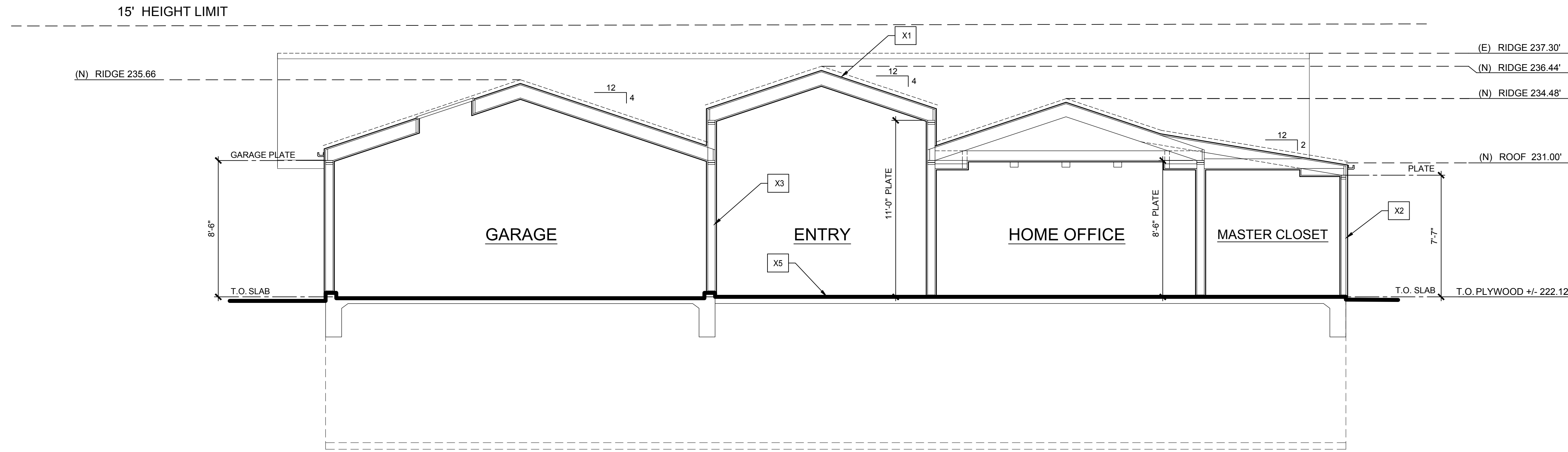
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SECTIONS

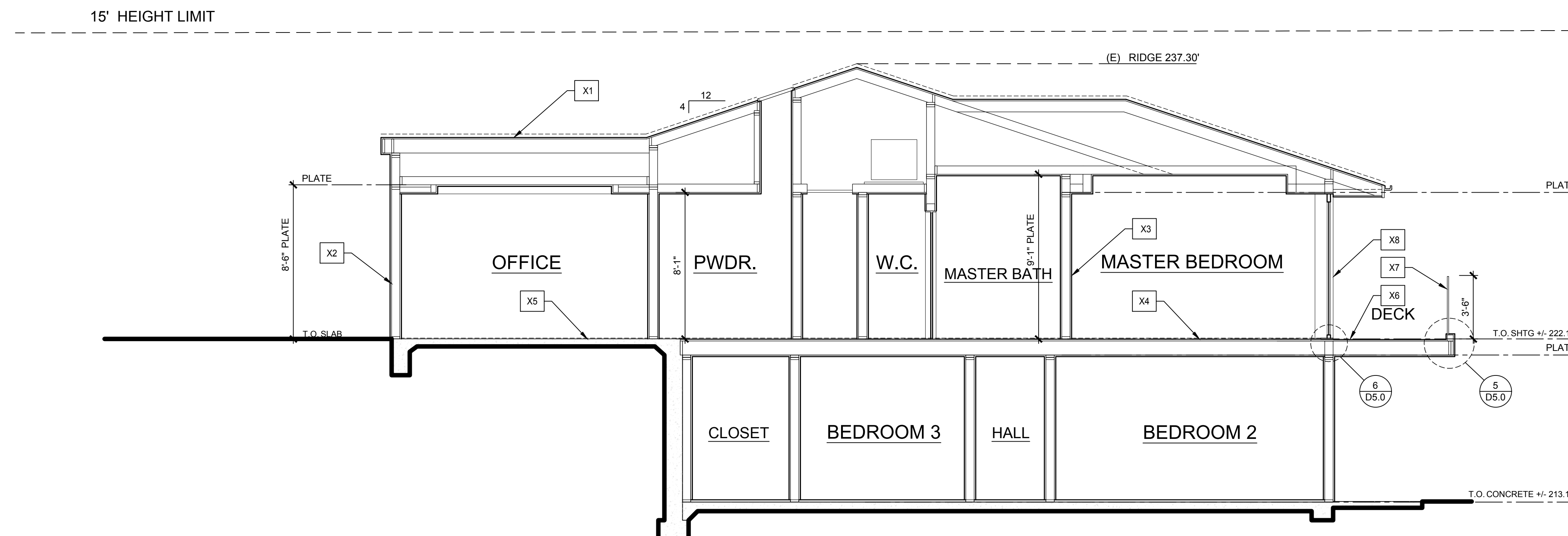
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A4.0



BUILDING SECTION A



BUILDING SECTION B

GENERAL NOTES

- A. TYPICAL CONSTRUCTION ASSEMBLIES: CROSS SECTIONS OF TYPICAL CONSTRUCTION ASSEMBLIES ARE DESCRIBED BY A CONSECUTIVE LISTING OF MATERIAL. EXTERIOR ASSEMBLIES SUCH AS ROOFS AND EXTERIOR WALLS LIST MATERIALS IN ORDER FROM EXTERIOR SURFACES TO INTERIOR SURFACES. HORIZONTAL ASSEMBLIES SUCH AS FLOORS AND SLABS LIST MATERIAL FROM TOP TO BOTTOM. INTERIOR ASSEMBLIES LIST MATERIALS FROM ONE SIDE TO OTHER. REFER TO DETAILS AND SPECIFICATIONS FOR INSTALLATION AND ADDITIONAL INFORMATION.
- B. STRUCTURAL FRAMING: REFER TO STRUCTURAL DRAWINGS FOR FRAMING MEMBER SPECIES, GRADES, SIZES, SPACING, CONNECTIONS, ROOF AND FLOOR SHEATHING, PLYWOOD SHEAR WALLS AND ADDITIONAL INFORMATION.



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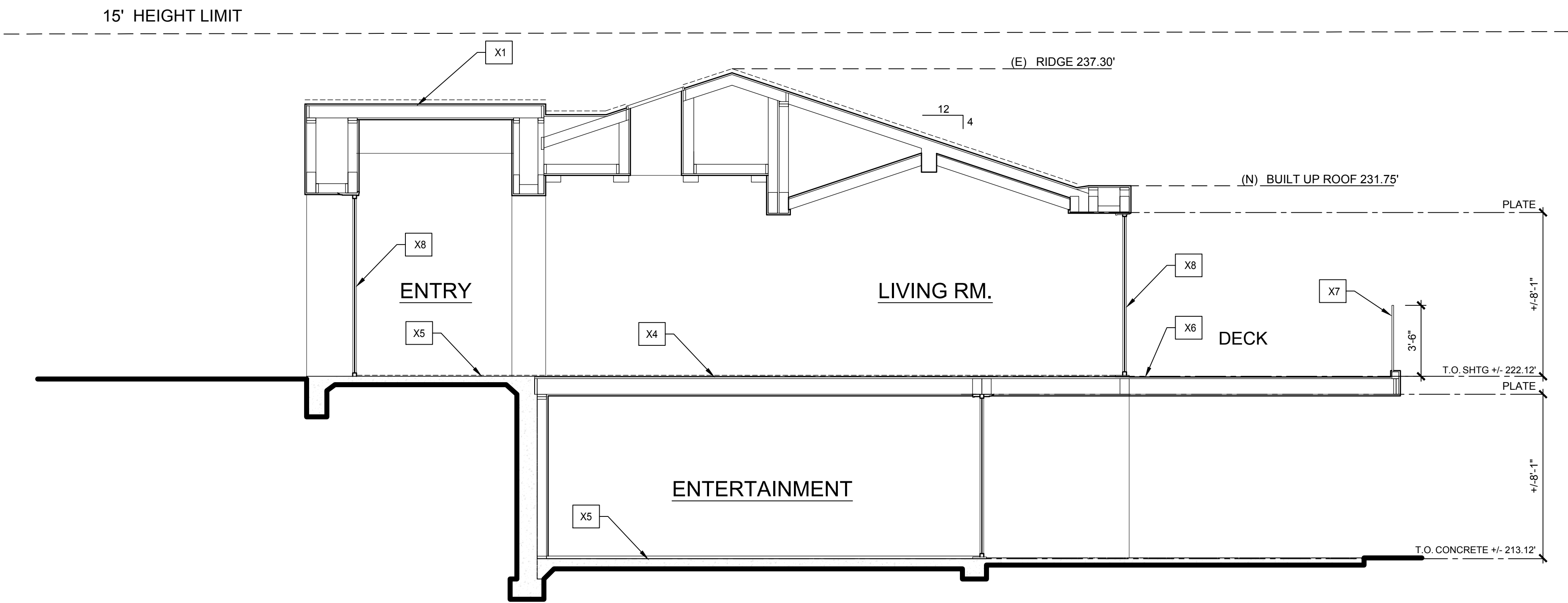
SECTION NOTES

XX SYMBOL

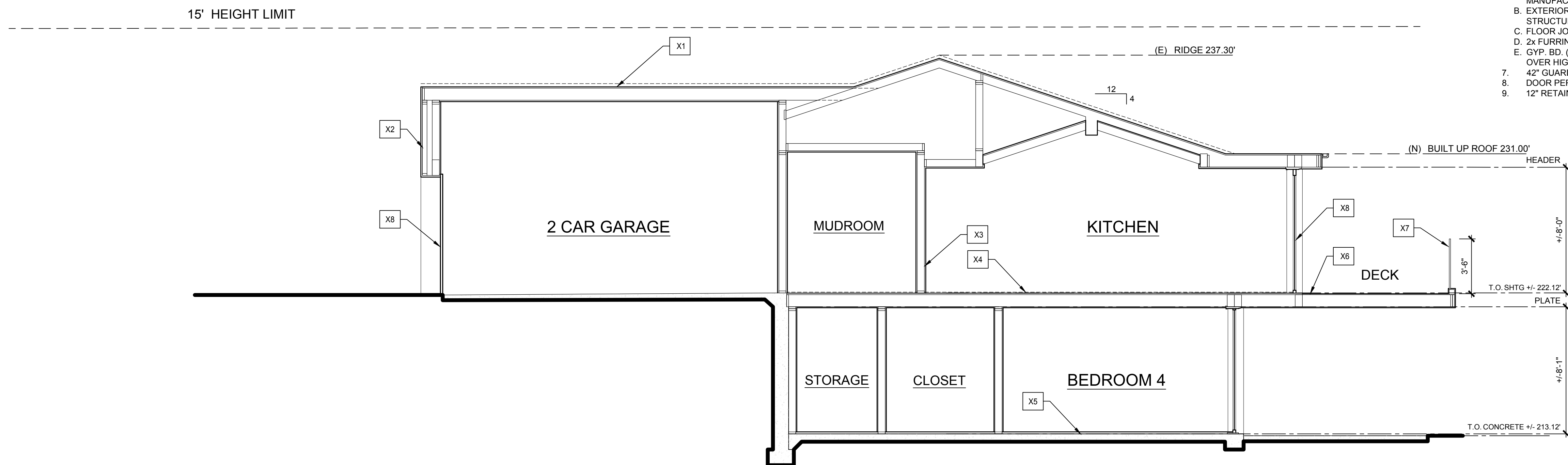
0. SECTIONS

1. TYPICAL SLOPED ROOF ASSEMBLY:
 - A. ROOFING MATERIAL - PER ROOF PLAN.
 - B. UNDERLAYMENT - PER MANUFACTURER'S RECOMMENDATIONS.
 - C. PLYWOOD SHEATHING - PER STRUCTURAL ENGINEER.
 - D. CALIFORNIA FRAMING (WHERE OCCURS).
 - E. WOOD RAFTERS PER STRUCT DWGS
 - F. INSULATION PER T-24 CALCS.
 - G. 2x CEILING JOISTS (WHERE OCCURS).
 - H. 5/8" GYPSUM WALLBOARD
2. TYPICAL EXTERIOR WALL ASSEMBLY:
 - A. EXTERIOR CLADDING MATERIAL (PROVIDE 2 LAYERS GRADE 'D' BUILDING PAPER MIN O/ ALL WOOD BASED SHEATHING)
 - B. PLYWOOD SHEAR PANELS PER STRUCT DWGS
 - C. 2 x 6 WALL FRAMING WITH R-19 INSULATION PER T-24.
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 - A. FLOOR FINISH
 - B. SUBFLOOR SHEATHING MATERIAL THICKNESS PER STRUCT. ENGINEER
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5. CONCRETE SLAB - REFER TO STRUCTURAL
6. DECK ASSEMBLY:
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7. 42" GUARD RAIL
8. DOOR PER PLAN
9. 12" RETAINING WALL

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BUILDING SECTION C



BUILDING SECTION D

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SECTIONS

CJLA No. 2120
 Scale: 1/4"=1'-0"
 Date: 7-26-22



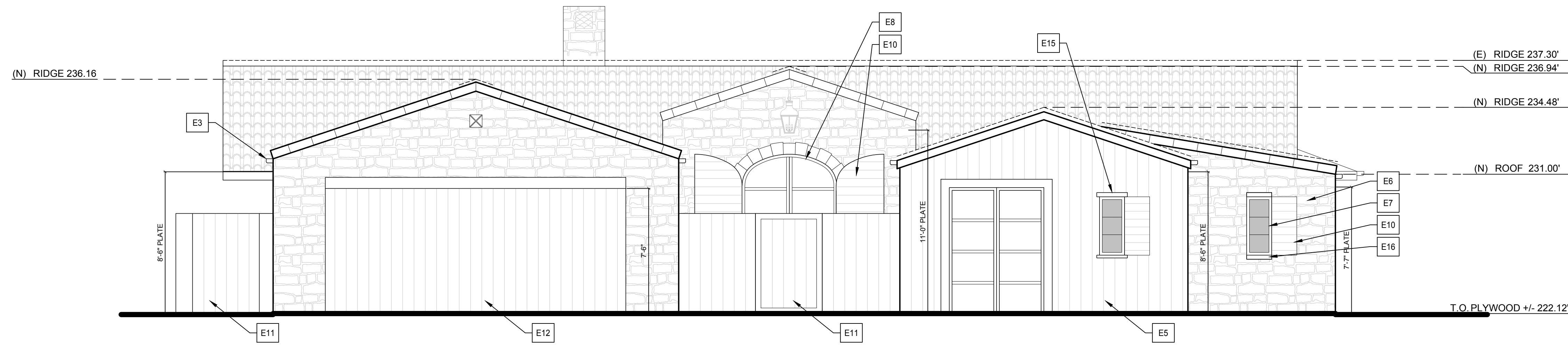
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ELEVATION NOTES

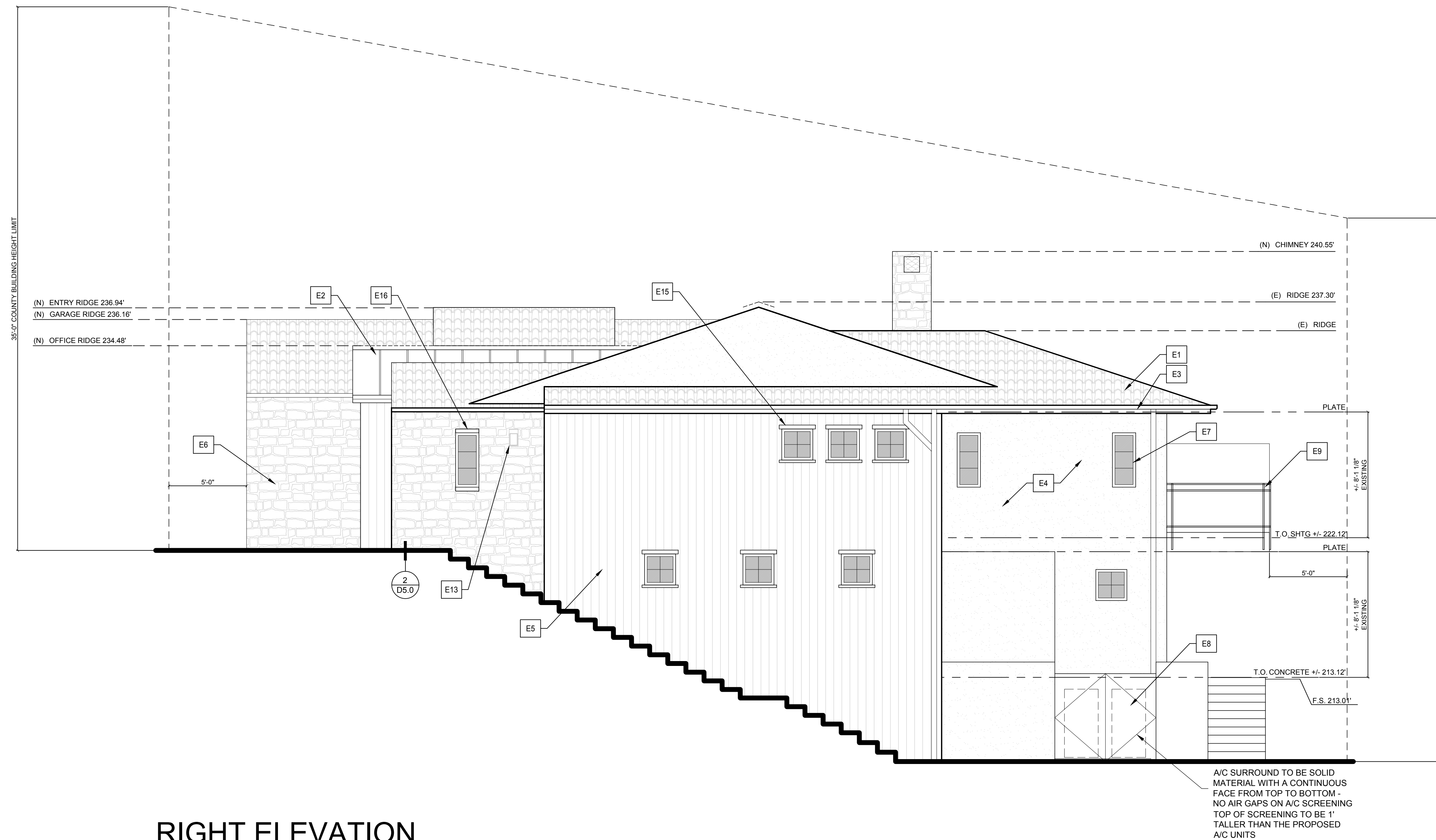
SYMBOL

REFER TO APPLICABLE DETAILS FOR SPECIFIC SIZING & APPLICATION

- E1. CLAY ROOF - REFER TO ROOF PLAN
- E2. METAL ROOF - REFER TO ROOF PLAN
- E3. COPPER GUTTER SYSTEM
- E4. SMOOTH STUCCO
- E5. WOOD SIDING
- E6. STONE
- E7. STEEL / METAL WINDOWS PER PLAN
- E8. STEEL / METAL DOORS PER PLAN
- E9. 42" IRON / GLASS RAILING
- E10. WOOD SHUTTERS
- E11. 6'-0" WOOD GATE
- E12. STAINED WOOD GARAGE DOOR
- E13. WALL SCOFF
- E14. ENCLOSED A/C UNITS
- E15. WOOD LINTEL & SILL
- E16. STONE LINTEL & SILL



FRONT ELEVATION



RIGHT ELEVATION

Hansen Residence
1016 Emerald Bay
Laguna Beach • CA • 92651

EXTERIOR ELEVATIONS

CJLA No. 2120
Scale: 1/4" = 1'-0"
Date: 7-26-22
County Submittal #1 June 20, 2022
County Submittal #2

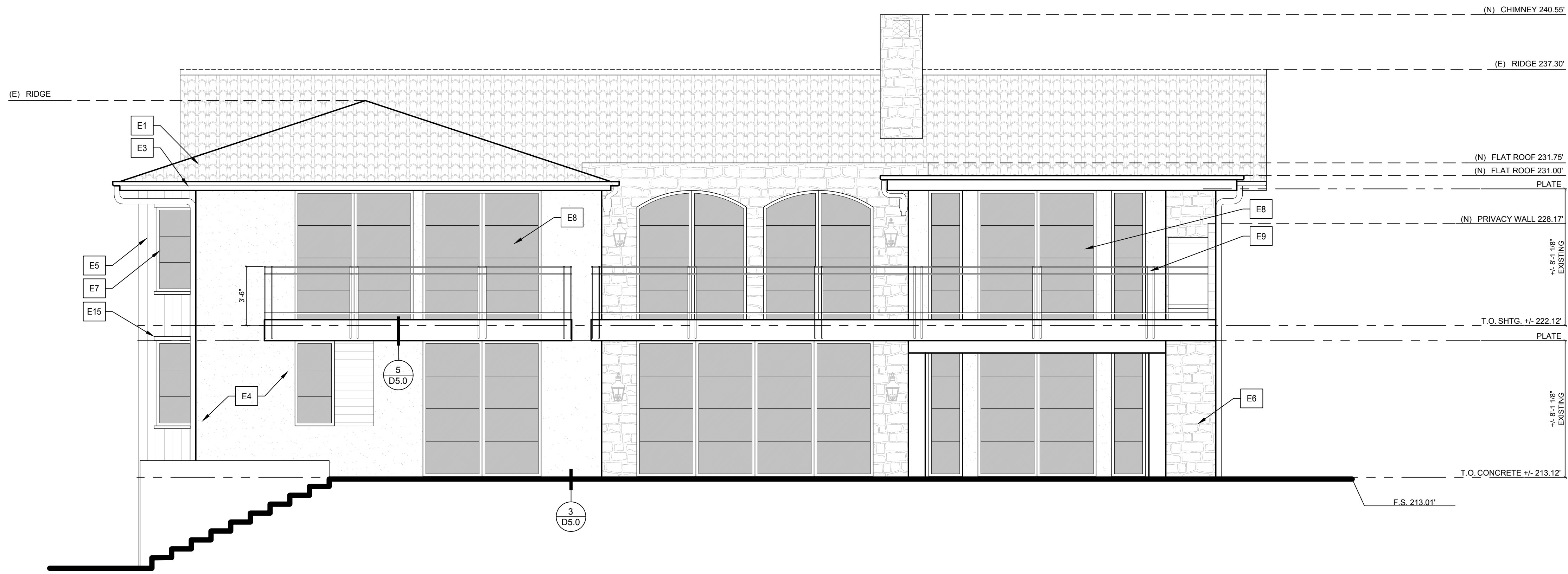
The Drawings, Specifications and other documents prepared by Architect for this Project are for use on the Project only and may not be used (1) on any other projects, (2) for additions to this Project or (3) for the completion of this Project by others, unless otherwise expressly agreed by Architect in writing. The Drawings, Specifications and other documents prepared by Architect for this Project are the exclusive property of the Architect and may not be used, duplicated, copied, transferred, assigned, sold or hypothecated without the express written permission of Architect. Architect retains all common law, statutory, and other legal rights, including copyright, in and to the Drawings, Specifications and other documents prepared by Architect © 2022 C.J. Light Associates

ELEVATION NOTES

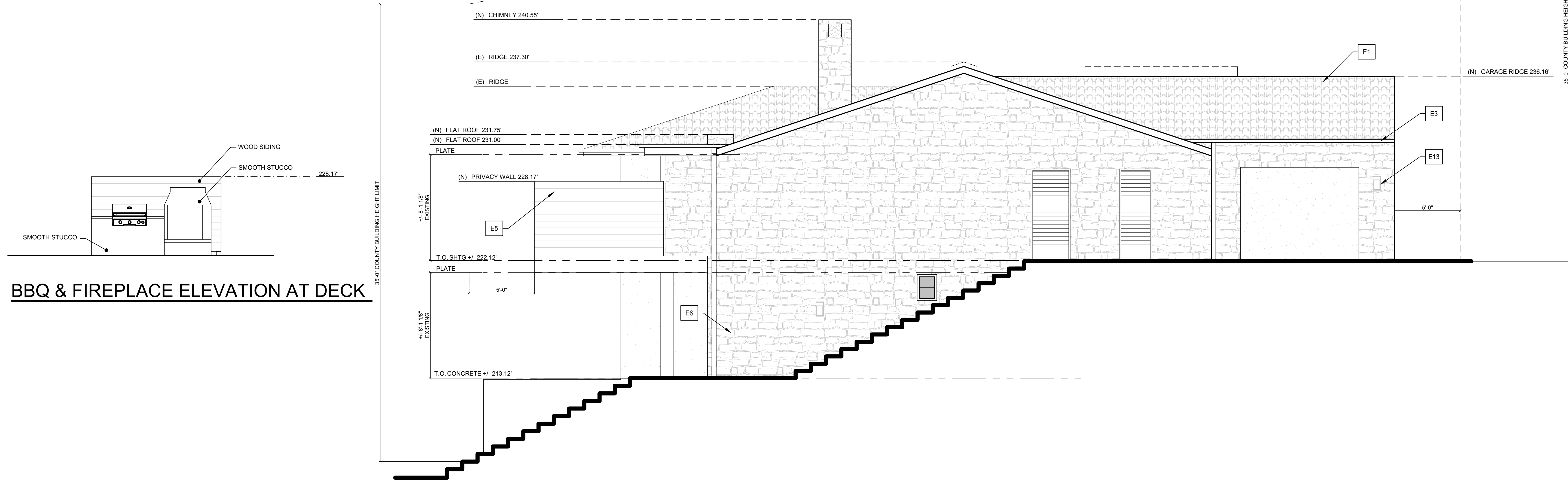
SYMBOL

REFER TO APPLICABLE DETAILS FOR SPECIFIC SIZING & APPLICATION

- E1. CLAY ROOF - REFER TO ROOF PLAN
- E2. METAL ROOF - REFER TO ROOF PLAN
- E3. COPPER GUTTER SYSTEM
- E4. SMOOTH STUCCO
- E5. WOOD SIDING
- E6. STONE
- E7. STEEL / METAL WINDOWS PER PLAN
- E8. STEEL / METAL DOORS PER PLAN
- E9. 42" IRON/ GLASS RAILING
- E10. WOOD SHUTTERS
- E11. 6'-0" WOOD GATE
- E12. STAINED WOOD GARAGE DOOR
- E13. WALL SCONCE
- E14. ENCLOSED A/C UNITS
- E15. WOOD LINTEL & SILL
- E16. STONE LINTEL & SILL



REAR ELEVATION



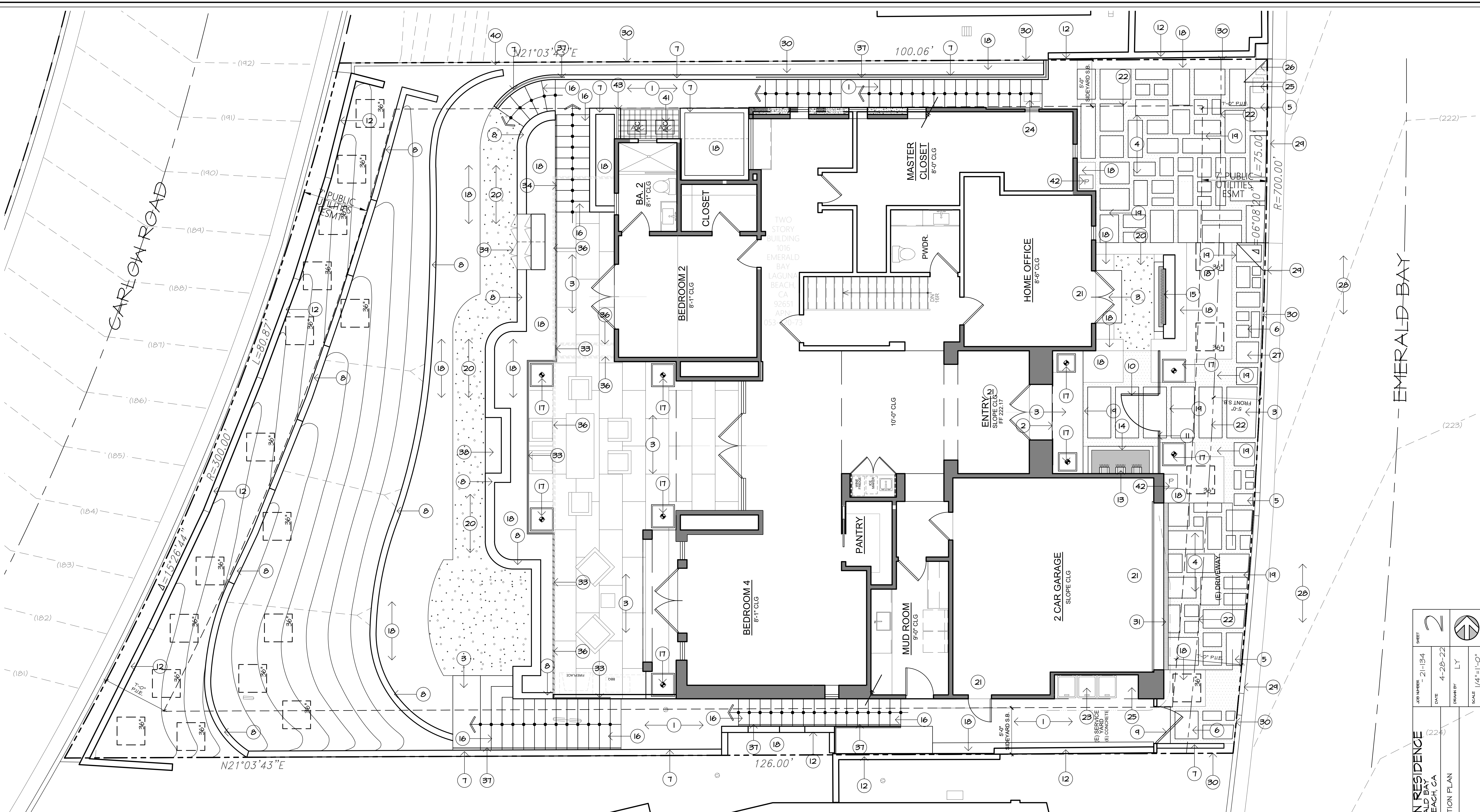
BBQ & FIREPLACE ELEVATION AT DECK

LEFT ELEVATION

Hansen Residence
1016 Emerald Bay
Laguna Beach • CA • 92651

EXTERIOR ELEVATIONS

CJLA No. 2120
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SOILS NOTE

These Landscape construction documents prepared by DSA are for conceptual design and aesthetic layout purposes only. Any reference to landscape structures including but not limited to pool, spa, walls and footings, glass windows, slab thickness, base and reinforcing, soil over-excavation, compaction and moisture content, overhead structural members and connections, drainage devices and techniques shall be designed by a structural, civil, or soils engineer with reference to the soils report. In the case of any discrepancies between the plans and the engineer's recommendations the engineer shall prevail. Pool and spa structure, mechanical and electrical and connection (or lack thereof) to surrounding paving shall be per pool contractor or structural engineer with reference to the soils report.

REFER TO THE SOILS REPORT AND ENGINEER FOR THE FOLLOWING OR OTHER SPECIAL REQUIREMENTS OF THE PROJECT.

Slope stabilization, extended footings, collars or special conditions of sealed planters, connection of slab to pool or hose footing or other special conditions of the job.

The expansive nature of the soil on this lot and the potential for slope creep within 15' from top of slope is noted in the soils report. Special engineering will be required on structures, walls, spa, etc. for these conditions. Planter beds within this zone and adjacent to house should be well-drained and sealed per soils engineer recommendations.

Due to the expansive nature of the soil the paving slabs should have reinforcing, expansion joints, sand base, and subgrade soils should be pre-saturated and compacted, all per the recommendations of soils engineer. Footings or cut-off walls around the edges of patio slabs are recommended to reduce water entry under slabs. Slab reinforcing and footing structure and size, per soils engineer. Even with these precautions some cracking and movement of structures and paving should be expected.

SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT IDENTIFICATION NUMBER CALL UNDERGROUND SERVICE ALERT.

TOLL FREE 1-800-422-4155
(Two working days before you dig)

HANSEN RESIDENCE CONSTRUCTION NOTES CONT.

- 16. STONE STEPS, stone veneer laid on mortar bed over concrete step base w/ 16" wide breads, verify riser height w/ grading plans. Concrete step base structure and reinforcing as prescribed by engineer w/ reference to soils report.
- 17. POTTERY: Pre cast concrete pots and troughs. See pot cut sheet and verify with owner prior to purchase. Provide sleeving for pot irrigation, drainage and electricity (if req'd) on lighting plan as shown on potting detail # . Verify exact location with landscape architect and owner prior to final placement.
- 18. PLANTING AREA (P.A.): Amended topsoil, free of debris, rocks and weeds, backfill all raised planters with approved topsoil planting mix. See agronomy soils report, may be required to remove portions of existing soils in planter areas.
- 19. ARTIFICIAL TURF.
- 20. DECORATIVE PEBBLES: To be selected.
- 21. RESIDENCE.
- 22. BUILDING ENVELOPE.
- 23. TRASH ENCLOSURE: Recessed into garage with sliding barn door access.
- 24. GAS METER: To be relocated in adjacent planting area.
- 25. ELECTRIC METER: Protect in place.
- 26. WATER METER: Protect in place.
- 27. MAILBOX.
- 28. COMMUNITY STREET: Protect in place.
- 29. EXISTING CURB AND GUTTER: Per civil engineer's plan. Protect in place.
- 30. PROPERTY LINE: Per civil engineer's plan.
- 31. DECORATIVE BRONZE LINEAR TRAFFIC GRATE AND DRAIN T.B.S.
- 32. DECORATIVE BRONZE LINEAR TRAFFIC GRATE AND DRAIN T.B.S.
- 33. GLASS GUARDRAIL: Per Architect's plan.
- 34. GLASS HANDRAIL.
- 35. GLASS.
- 36. LINE OF DECK ABOVE.
- 37. METAL HANDRAIL.
- 38. BUILT-IN BENCH WITH BACKREST.
- 39. WOOD POTTING SHED: 7' tall overall height with 3' tall potting countertop. Storage cabinets below and above counter (4 tall).
- 40. 6" CONCRETE CURB.
- 41. A/C UNIT.
- 42. FOUNTAIN PUMP VAULT: Note: Fountain must be low volume and noise.
- 43. METAL TRELLIS COVER: At A/C units.

HANSEN RESIDENCE CONSTRUCTION NOTES

- 1. SCORED INTEGRAL COLOR CONCRETE, 5-1/2" thick minimum at driveway, 5" thick minimum at walks and patios, with #4 rebar at 12" O.C. each way over compacted sand base and subgrade. Provide deepened edge at all paving adjacent to planting areas. Provide deep score lines in Auhar pattern as shown on plan, 4 esp. joints for every 100 sq. feet or as shown on plans. Preservation and the percentage of compaction of sand base and subgrade as prescribed by engineer. Exact slab thickness, reinforcing and base requirements as prescribed by engineer with reference to soils report. Diagonal grid pattern per plan. Color to be L.M. Schiefel, color to compliment stone paving. Exact color to be selected. Finish to be light wash sample to be approved by owner prior to installation.
- 2. EXPANSION JOINT (E.J.): 3/8" thick foam w/ removable 1" cap. Seal w/ Thikol, dust sealant w/ silica sand. Color of sealant and silica to match paving. Place per plan and at all walls and every 100 square feet minimum.
- 3. STONE PAVING: Slab stone set on mortar bed with turf strip over concrete base to match concrete paving note.
- 4. DRIVEWAY STONE PAVERS: Slab stone set on mortar bed with turf strip over concrete base to match concrete paving note.
- 5. DRIVEWAY APRON.
- 6. STONE STEPPERS.
- 7. STONE WALL WITH STONE CAP: Concrete block structure and stone veneer and stone cap to match residence. Note any retaining condition and provide drainage behind wall. Drainage to include waterproof coating, gravel backfill and perforated pipe wrapped in Mirafi filter cloth, see details. Wall structure and reinforcing as prescribed by Structural Engineer with reference to soils report. Where adjacent to planting areas allow 30" minimum planting depth from finish grade to top of footing or turf footing into slope or under planter.
- 8. INTERLOCKING BLOCK WALL: Install per manufacturer's specifications. Note any partial retaining conditions and provide drainage behind wall. Provide waterproof coating, gravel backfill and perforated pipe wrapped in Mirafi filter cloth behind wall per details. Wall structure and reinforcing as prescribed by Structural Engineer. Size, reinforcing and depth of concrete footings as prescribed by Structural Engineer w/ reference to soils report.
- 9. SOLID WOOD SIDE YARD GATE: Solid wood gate. Provide self-closing hinges and locking latch.
- 10. DECORATIVE SOLID WOOD GATE.
- 11. DECORATIVE SOLID WOOD FENCE.
- 12. EXISTING WALL: To remain. Protect in place.
- 13. ENTRY FOUNTAIN: Waterproof granite structure with chiseled stone backdrop wall integrated with architectural wall and carved stone or bronze scuppers. Water to spill into pebble filled basin. Actual finish to be selected. Granite structure and reinforcing as prescribed by engineer with reference to soils report. Note any special deepened structure condition, refer to soils report. All plumbing and fixtures must be absolutely leak free. Remote pump and filter with bypass volume control. Provide bottom drain with threaded bronze plug and auto fill with overflow. LED wet/dry lighting in basin.
- 14. STONE FOUNTAIN: Waterproof granite structure with chiseled stone backdrop wall integrated with architectural wall and carved stone or bronze scuppers. Water to spill into pebble filled basin. Actual finish to be selected. Granite structure and reinforcing as prescribed by engineer w/ reference to soils report. Note any special deepened structure condition, refer to soils report. All plumbing and fixtures must be absolutely leak free. Remote pump and filter with bypass volume control. Provide bottom drain with threaded bronze plug and auto fill with overflow. LED wet/dry lighting in basin.

HANSEN RESIDENCE
1016 EMERALD BAY
LAGUNA BEACH, CA

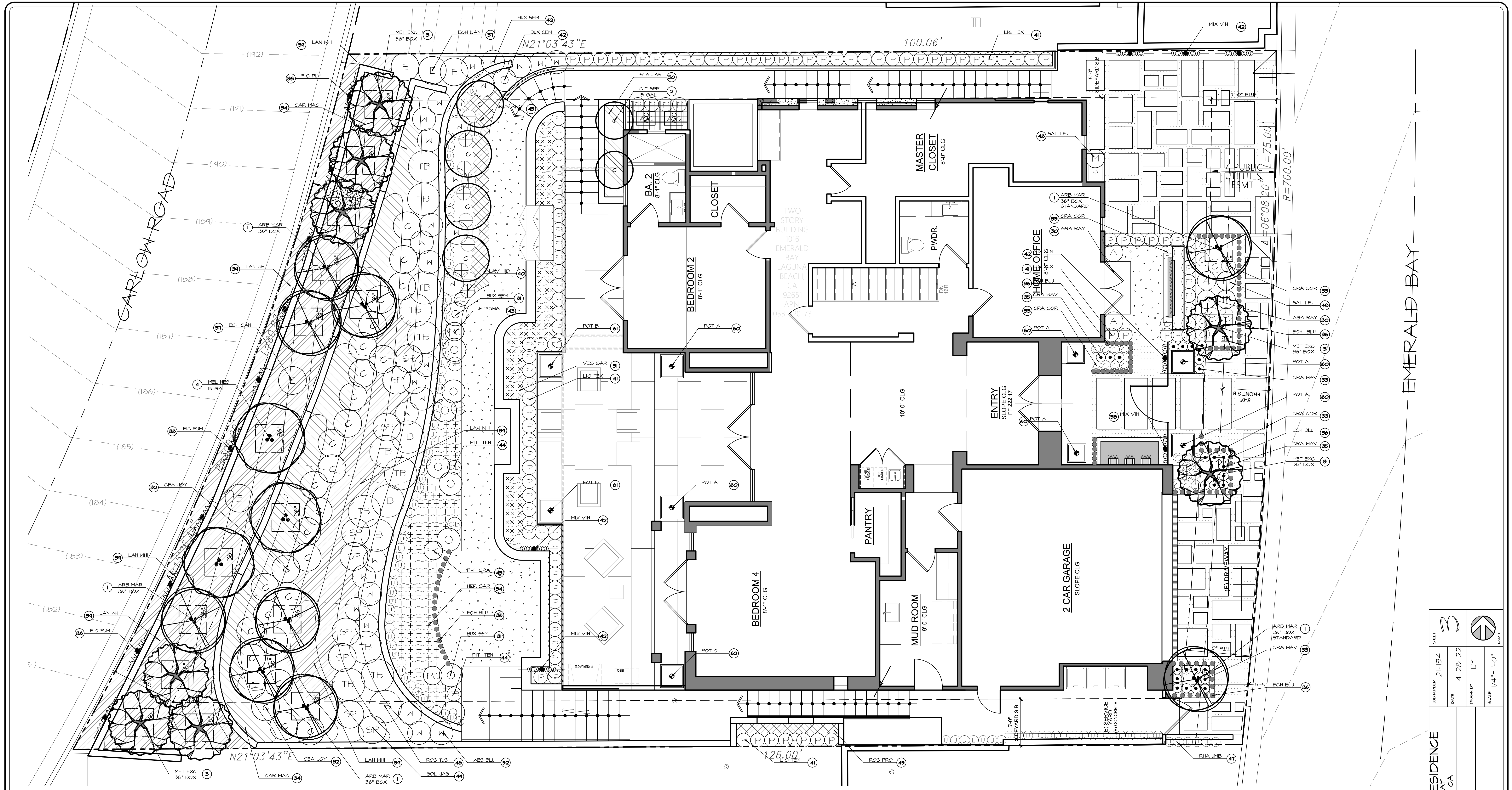
CLIENT: HANSEN RESIDENCE
JOB NUMBER: 21-134
DATE: 4-28-22
DRAWN BY: L.Y.
SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN

Daniel Stewart & Assoc.
Landscape Architects

2755 CAMINO CAPSTRANO #2
LAGUNA BEACH, CA 92653
TEL: (949) 366-8888 FAX: (949) 366-2675

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PLANTING SPECIFICATIONS

- A. Remove all debris, weeds, excess material and rocks larger than 3" in diameter from planting areas.
- B. Cross rip all turf and planting areas to a depth of 12" and blend the following amendments into tilled soil to a depth of 6":
 - Per 1,000 square feet:
 - 250 lbs. Gro-power Plus with 4% sulfur
 - 6 cubic yards of nitrated organic amendment
 - 200 lbs. agricultural gypsum
- C. Excavate the planting pits for trees and shrubs twice the diameter and the depth of the root ball, scarify the sides and bottom of the pit. The backfill mix for use around the root ball shall consist of the following:
 - Per cubic yard of mix:
 - 6 parts by volume non-saline, non-sodic and low boron content sandy textured import top soil
 - 4 parts by volume nitrated organic amendment
 - 20 lbs. Gro-power Plus with 4% sulfur
 - 20 lbs. agricultural gypsum
 - Use Gro-power Planting tablets (7 gram size 12-8-8) white backfilling the plant, (verify number of tablets with manufacturer's specifications).
- D. Soil amendment and backfill mix are provided for bidding purposes only. The contractor shall provide in their bid for a soil agronomy report by an approved soil agronomist upon completion of rough grading. Actual soil amendments and backfill mix shall be as per soil agronomist's report and recommendations.
- E. Backfill for ferns and shade plants shall be 1/3 prepared site soil and 2/3 saturated coarse peat moss. Set these plants so that when settled the crown will be 1 1/2" above the surrounding grade.
- F. Remove all vines from nursery stakes and espalier and attach to fence or wall surface using nails or plastic ties.
- G. Fine prune all specimen trees after planting under the direction of the Landscape Architect.
- H. All specimen trees shall be selected at the source by the Landscape Architect.
- I. Upon completion, remove all extraneous materials and debris, broom wash and clean all areas.
- J. Actual symbols shall have priority over written quantities. Contractor shall verify quantities and notify Landscape Architect of discrepancies.
- K. All plant material, color size and quantities are to be verified with owner.
- L. All substitutions shall be approved by Landscape Architect and owner.

SOILS NOTE

These Landscape construction documents prepared by DSA are for conceptual design and aesthetic layout purposes only. Any reference to hardscape structures including but not limited to: pool, spa, walls and footings, glass windows, slab thickness, base and reinforcing soil over-excavation, composition and moisture content, overhead structural members and connections, drainage devices and techniques, shall be designed by a structural, civil, or soils engineer with reference to the soils report. In the case of any discrepancies between the plans and the engineers' recommendations the engineer shall prevail. Pool and spa structure, mechanical and electrical connection for back thereof) to surrounding paving shall be per pool contractor or structural engineer with reference to the soils report.

REFER TO THE SOILS REPORT AND ENGINEER FOR THE FOLLOWING OR OTHER SPECIAL REQUIREMENTS OF THE PROJECT.

Slope stabilization, extended footings, caissons or special conditions of sealed planters, connection of slab to pool or house footing or other special conditions of the job.

The expansive nature of the soil on this lot and the potential for slope creep within 15' from top of slope is noted in the soils report. Special engineering will be required on structures, walls, spa, etc. for these conditions. Planter beds within this zone and adjacent to house should be well-drained and sealed per soils engineer recommendations.

Due to the expansive nature of the soil the paving slabs should have reinforcing, expansion joints, sand base, and subgrade soils should be pre-saturated and compacted, all per the recommendations of soils engineer. Footings or cut-off walls around the edges of patio slabs are recommended to reduce water entry under slabs. Slab reinforcing and footing structure and size per soils engineer. Even with these precautions some cracking and movement of structures and paving should be expected.

PLANTING NOTES

1. All areas with annual color will be planted with "best color of season" and shall be approved by the Landscape Architect.
2. Turf areas to be sodded with Marathon Type II fescue or equal.
3. All shrub areas to be underplanted with the following ground covers:
 - A. Sun areas - *Laurencia Fluvialis*, *Isotoma* 8" o.c., triangular spacing.
 - B. Shade areas - *Solanita Solerella*, *Baby's Tears* 8" o.c., triangular spacing.
4. Contractor is to provide an automatic irrigation system with 100% coverage and separate sun/shade and turf/groundcover systems.
5. Contractor shall also provide irrigation, end/or drainage in plant pots.
6. Contractor shall not disturb from any of the plant materials on this list, unless consulting with the Landscape Architect first.
7. Contractor shall install 2x4 Redwood header board at edge of all turf to shrub areas.

SHRUBS (CONTINUE):

NUM	SYM	NAME	COMMENTS	SIZE
45.	ROS PRO	ROSMARINUS PROSTRATUS -CREEPING ROSEMARY	GROUND COVER	12" O.C. @ 18" O.C.
46.	ROS TUS	ROSMARINUS 'TUSCAN BLUE'	-TUSCAN BLUE ROSEMARY	5 GAL
47.	RHA UMB	RHAPHOLEPIS UMBELLATA -YEDDOR HANFTHORN		5 GAL
48.	SAL LEU	SALVIA LEUCANTHA -MEXICAN SAGE BUSH		15 GAL
44.	SOL JAS	SOLANUM JASMINOIDES -POTATO VINE		5 GAL
50.	TRA JAS	TRACHELOSPERMUM JASMINOIDES -STAR JASMINE	GROUND COVER	1 GAL @ 12" O.C.
51.	VEG GAR	VEGETABLE GARDEN	T.B.S.	6" POT
52.	MES BLU	MESQUITA 'BLUE GEM' -BLUE GEM COAST ROSEMARY		5 GAL
53.	GRA	GRAVEL	-TO BE SELECTED	
54.	HER GAR	HERB GARDEN	T.B.S.	1 GAL

NUM	SYM	POT PLANTING	COMMENTS	SIZE
60.	POT A	CAMELIA JAPONICA 'NUCCIO'S GEM'		15 GAL
61.	POT B	ASAVE 'RAY OF LIGHT'		15 GAL
62.	POT C	CITRUS -W/ 'SERAPHIM BLUE BLIZZARD'		15 GAL 1 GAL

SHRUBS:

NUM	SYM	NAME	COMMENTS	SIZE
30.	ASA RAY	ASAVE 'RAY OF LIFE' -RAY OF LIFE AGAVE		15 GAL
31.	BUX SEM	BUXUS SEMPERVIRENS -COMMON BOXWOOD		15 GAL
32.	CEA JOY	CEANOTHUS 'JOYCE COULTER' -JOYCE COULTER	GROUND COVER	5 GAL
33.	CRA COR	CRASSULA O. 'GOLLUM' -CORAL JADE		5 GAL
34.	CAR MAR	CARISSA MACROCARPA 'TOMLINSON' -NATAL PLUM	1 GAL @ 18" O.C.	
35.	CRA HAV	CRASSULA O. 'HAVE JADE' -HAVE JADE		1 GAL
36.	ECH BLU	ECHINOPSIS 'BLUE ATOL' -BLUE ATOL ECHEVERIA		6" POT
37.	ECH CAN	ECHINUS CANADICUS -BLUE ATOL ECHEVERIA		15 GAL
38.	FIG FUM	FIGUS RUMILA -CREEPING FIG		5 GAL
39.	LAN WHI	LANTANA WHITE' -WHITE LANTANA	1 GAL @ 18" O.C.	
40.	LAV HD	LAVENDULA 'HIDCOTE BLUE' -ENGLISH LAVENDER		1 GAL
41.	LIG TEX	LIGULSTRUM 'JEXANUM' -WAXLEAF PRIVET	STAKED	15 GAL
42.	MIX VIN	TRACHELOSPERMUM JASMINOIDES/BIGNONIA VIOLACEA -STAR JASMINE/VIOLET TRUMPET VINE		15 GAL 15 GAL
43.	PIT CRA	PITOSPORUM CRASSIFOLIUM -PITOSPORUM		5 GAL
44.	PIT GOL	PITOSPORUM 'GOLF BALL' -GOLF BALL PITOSPORUM		5 GAL

TREES:

NUM	SYM	NAME	COMMENTS	SIZE
1.	ARB MAR	ARBUTUS MARINA -STRAWBERRY TREE	STANDARD	36" BOX
2.	GIT SPP	CITRUS SPP -FRUIT TREES TO BE SELECTED		15 GAL
3.	MET EXC	METROSIDEROS EXCELSA -NEW ZEALAND CHRISTMAS TREE	MULTI	36" BOX
4.	MEL NES	MELALEUCA NESOPHILA -PINK MELALEUCA		36" BOX

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TOLL FREE 1-800-422-4155
(Two working days before you dig)

SOIL DEPTH SCHEDULE FOR TREE BOX
 24" BOX = PROVIDE 36" SOIL DEPTH
 36" BOX = PROVIDE 48" SOIL DEPTH
 48" BOX = PROVIDE 48" SOIL DEPTH
 60" BOX = PROVIDE 48" SOIL DEPTH
 72" BOX = PROVIDE 60" SOIL DEPTH

Provide 24" min soil depth from finish grade to top of footing except where tree box are located. See soil depth schedule above with reference to structural engineer's drawing. Contractor shall contact the landscape architect of any discrepancies prior to installation.

HANSEN RESIDENCE
1016 EMERALD BAY
LAGUNA BEACH, CA

PLANTING PLAN

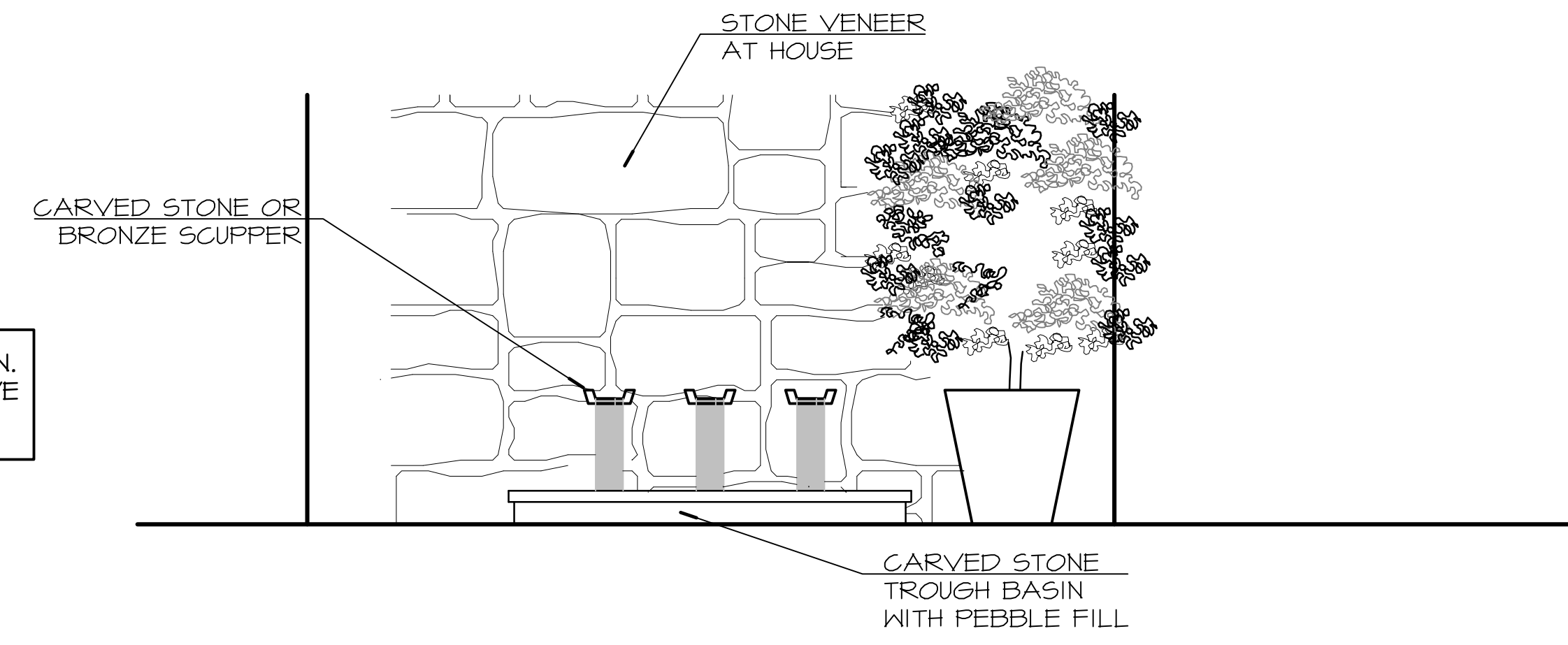
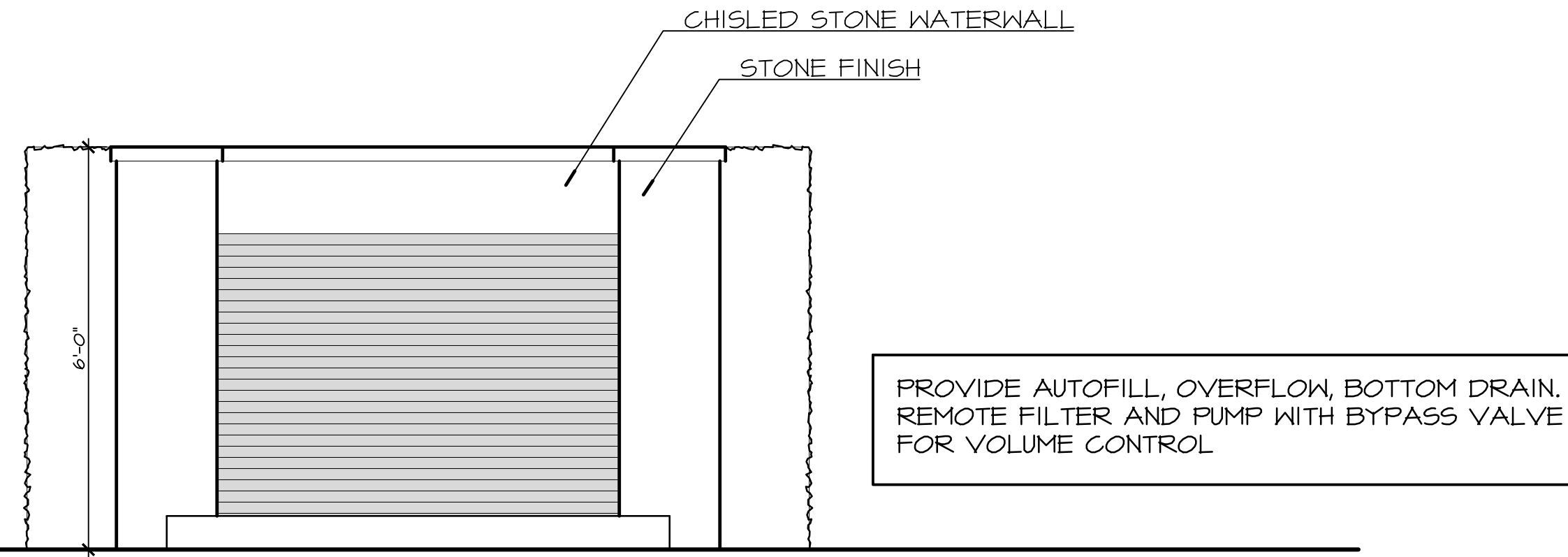
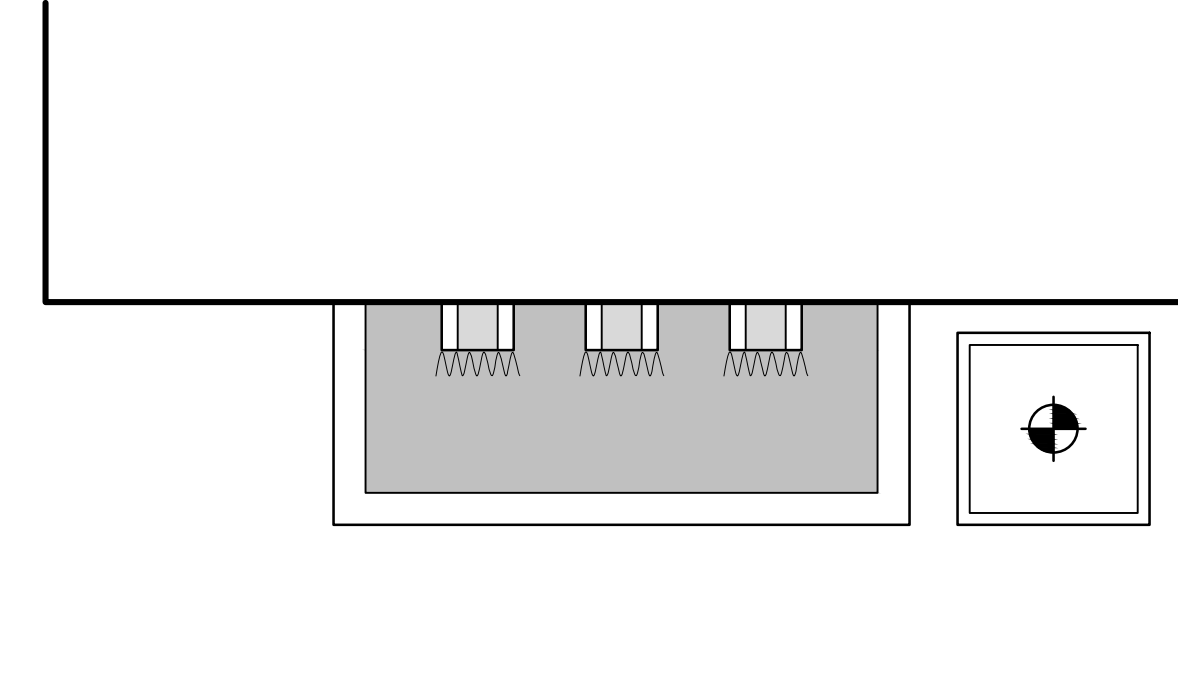
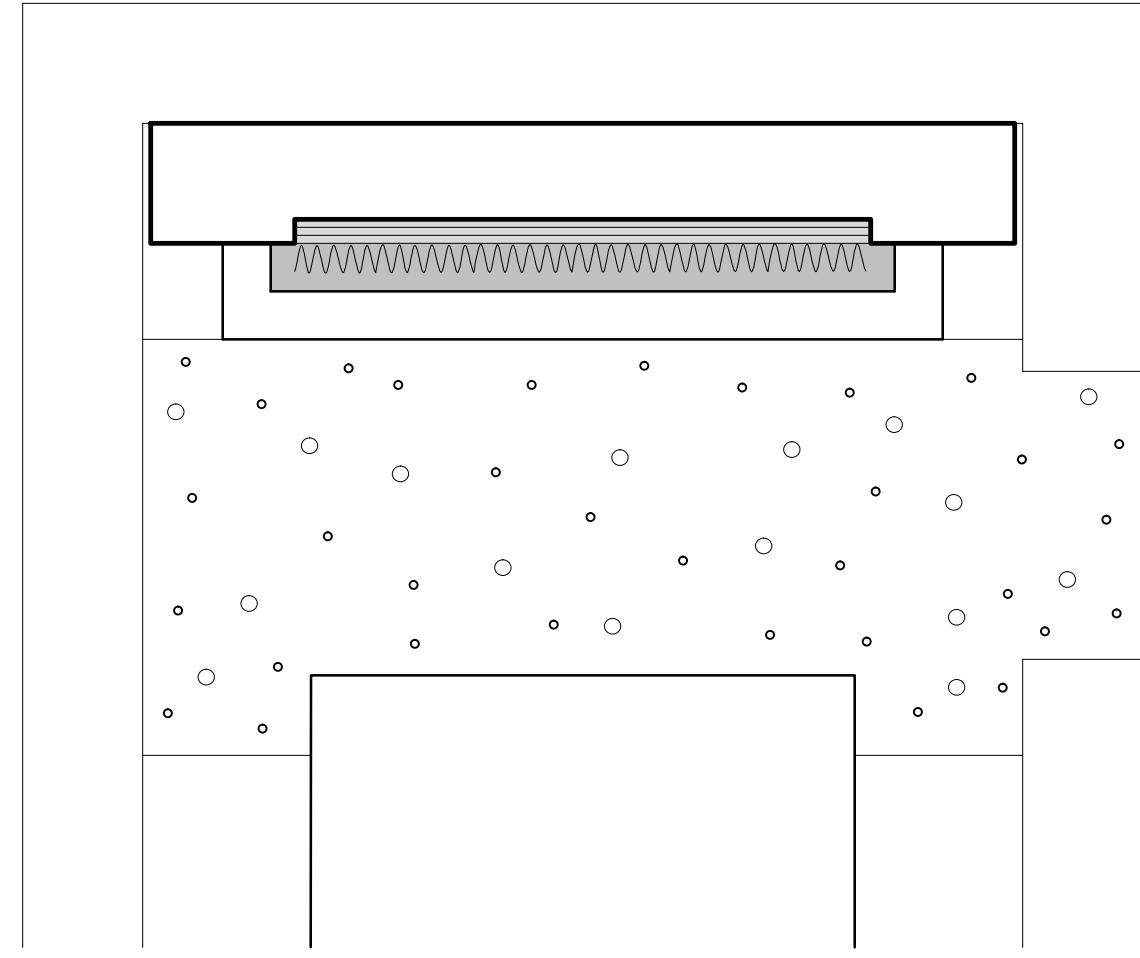
SHEET 3

JOB NUMBER: 21-134
DATE: 4-20-22
DRAWN BY: LY
SCALE: 1/4" = 1'-0"

Daniel Stewart & Assoc.
Landscape Architects

2755 CAMINO CAPERANO #2
LAGUNA BEACH, CA 92653
TEL: (949) 361-8888 FAX: (949) 361-2675

DATE: 4/20/22
BY: DANIEL STEWART
CHECKED BY: DANIEL STEWART
SCALE: 1/4" = 1'-0"



A OFFICE COURTYARD FOUNTAIN ELEVATION $1/2" = 1'-0"$

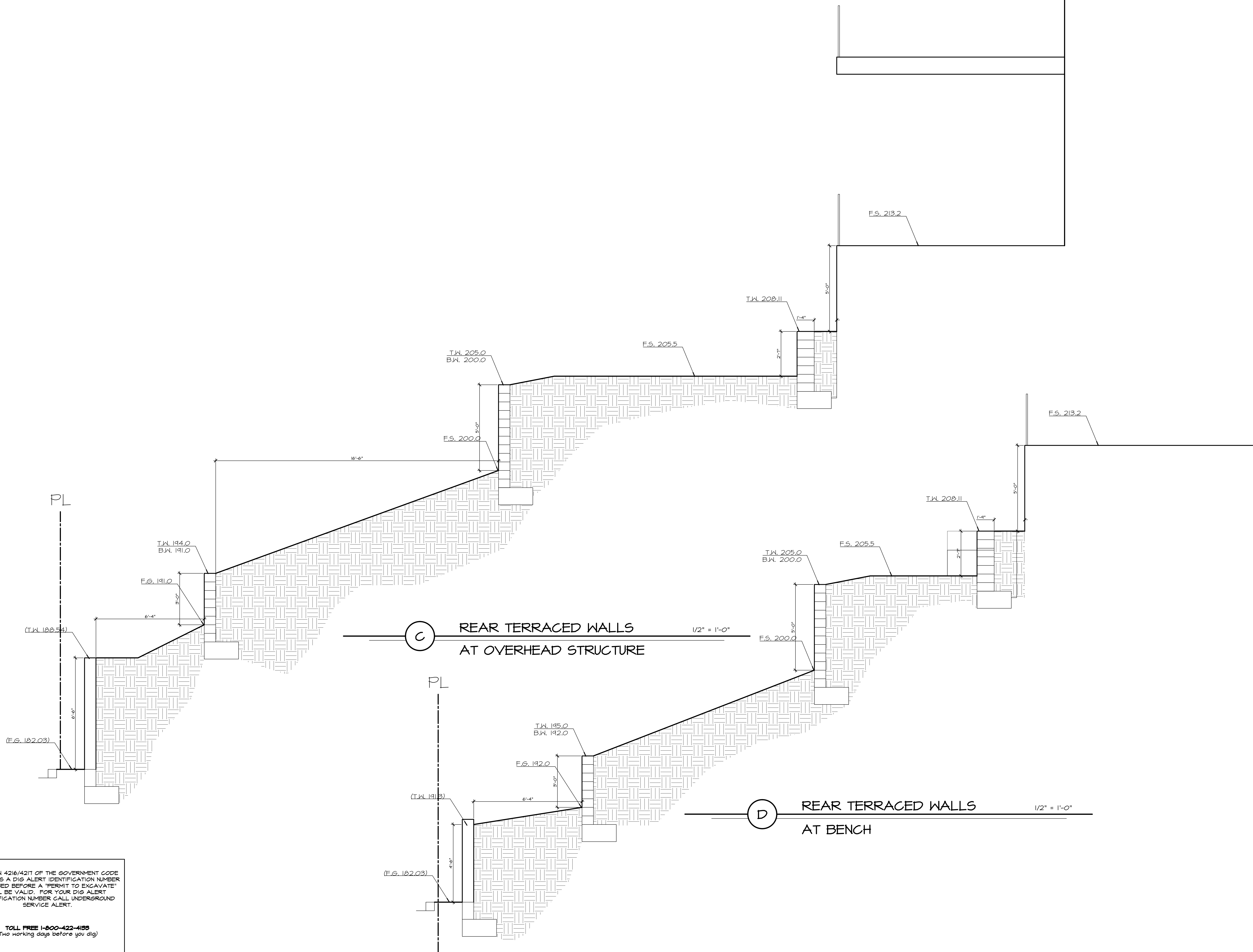
B ENTRY WATERFEATURE $1/2" = 1'-0"$

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TOLL FREE 1-800-422-4155
(Two working days before you dig)

HANSEN RESIDENCE 106 EVERALD BLVD LAGUNA BEACH, CA	CLIENT	21-134	SHEET 4
	DATE	4-28-22	NORTH
TITLE DETAILS	DRAWN BY LY	SCALE $1/2" = 1'-0"$	
REVISIONS			

Daniel Stewart & Assoc. Landscape Architects 2755 CAMINO CARPENTANO B-2 LAGUNA BEACH, CA 92653 TEL: (949) 364-8800 FAX: (949) 364-2675



C REAR TERRACED WALLS
AT OVERHEAD STRUCTURE

1/2" = 1'-0"

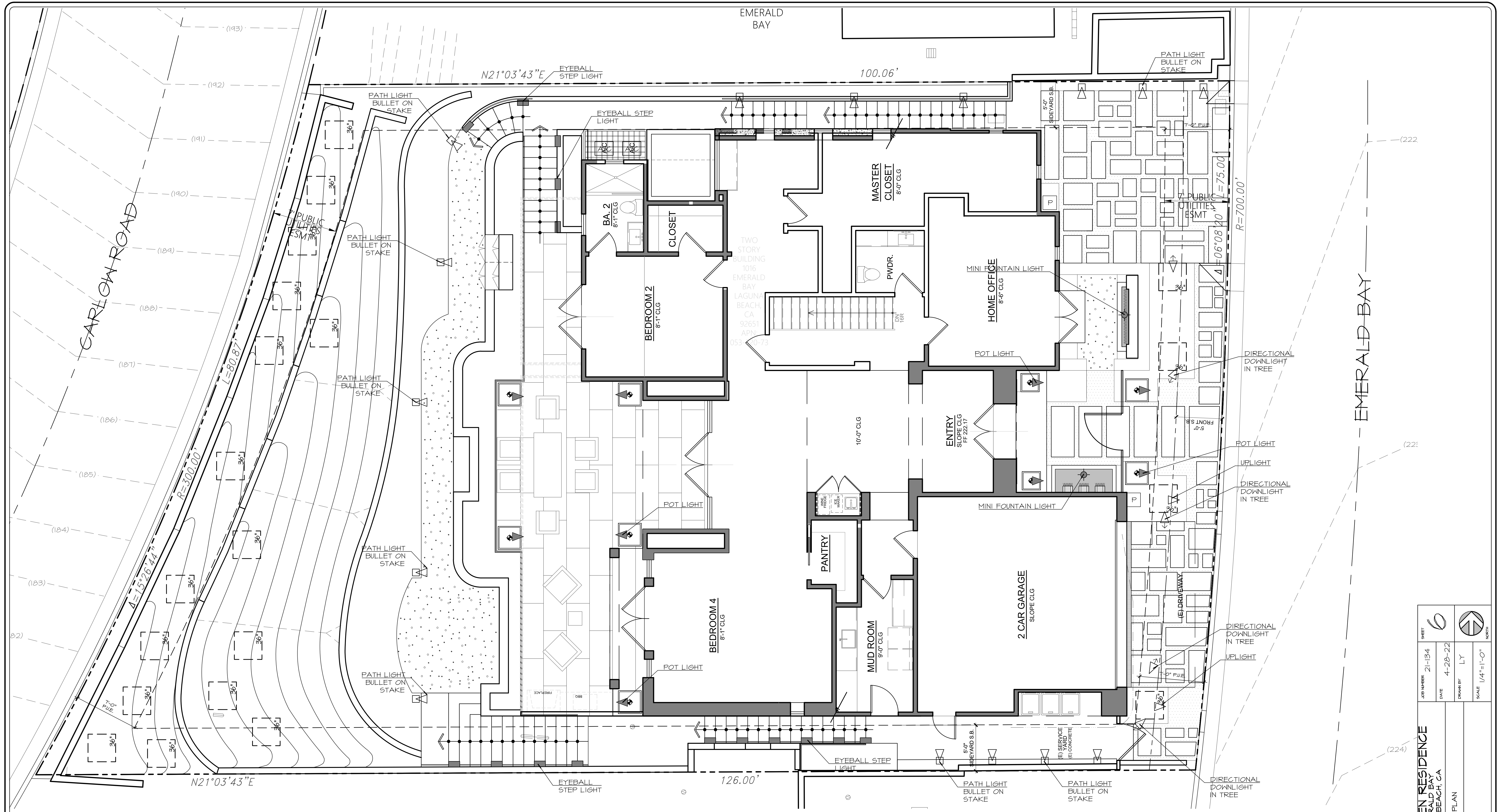
D REAR TERRACED WALLS
AT BENCH

1/2" = 1'-0"

SECTION 4216/4217 OF THE GOVERNMENT CODE
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SERVICE ALERT.

TOLL FREE 1-800-422-4155
(Two working days before you dig)

HANSEN RESIDENCE 106 EVERALD BAY LAGUNA BEACH, CA	SHEET 5	NORTH
	PLAN NUMBER 21-134	DATE 4-28-22
CLIENT HANSEN RESIDENCE	TITLE DETAILS	REVISIONS 19-81-22 19-81-22 19-81-22
Daniel Stewart & Assoc. Landscape Architects		
2755 CAMINO CAPETRANDO #2 LAGUNA BEACH, CA 92653 TEL: (949) 366-8888 FAX: (949) 366-2675	8/16/2022 11:49:11 AM, LY	



LIGHTING LEGEND-SOLID BRASS

SYM	MANUFACTURE	MODEL	DESCRIPTION	WATTAGE	QUANTITY
▲	ALLIANCE OUTDOOR LIGHTING	BL110 LED	SOLID BRASS BULLET UPLIGHT WITH SHIELD	4 WATT	2
■	ALLIANCE OUTDOOR LIGHTING	SL200 LED	SOLID BRASS EYE BALL STEP LIGHT	3 WATT	15
▽	ALLIANCE OUTDOOR LIGHTING	DL100 LED	SOLID BRASS DIRECTIONAL LIGHT WITH SHIELD IN TREE	4 WATT	5
▲	ALLIANCE OUTDOOR LIGHTING	BL50 LED	SOLID BRASS MINI BULLET UPLIGHT WITH SHIELD IN POT OR PLANTER	4 WATT	4
T.B.S.	T.B.S.	T.B.S.	MINI FOUNTAIN LIGHT	4 WATT (MAX)	2
□	SPJ LIGHTING	MRS. UNIVERSE ON STAKE (LED)	PATH LIGHT MINI BULLET ON STAKE	1 WATT	15

NOTE: ALL LIGHT SOLID BRASS LED ON DIMMERS.

LIGHTING NOTES

- COORDINATE W/ ARCHITECT; EXTERIOR HOUSE FIXTURES, CONTROL SWITCH LOCATIONS AND LOAD REQUIREMENT OF LANDSCAPE LIGHTING. HOUSE ELECTRIC PANEL MUST BE ADEQUATE FOR HOUSE AND LANDSCAPE REQUIREMENTS.
- INSTALL ALL LIGHTING TO CONFORM WITH ALL LOCAL CODES AND PER ASSOCIATION GUIDELINES.
- VERIFY EXACT FIXTURES WITH OWNER PRIOR TO INSTALLATION.
- VERIFY FINAL FIXTURE AND CONTROL SWITCH LOCATIONS WITH LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- CONCEAL ALL WIRING AND HARDWARE
- SEE POTTING DETAIL FOR MORE INFORMATION.
- ALL LIGHTING TO BE DIRECTED AWAY FROM STREET AND NEIGHBORS. ADJUST LIGHTING TO AVOID GLARE OR OVER SPILL INTO NEIGHBORING PROPERTIES.

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TOLL FREE 1-800-422-4155
(Two working days before you dig)

HANSEN RESIDENCE
1016 EMERALD BAY
LAGUNA BEACH, CA

CLIENT: HANSEN RESIDENCE
JOB NUMBER: 21-134
DATE: 4-20-22
DRAWN BY: LY
SCALE: 1/4" = 1'-0"

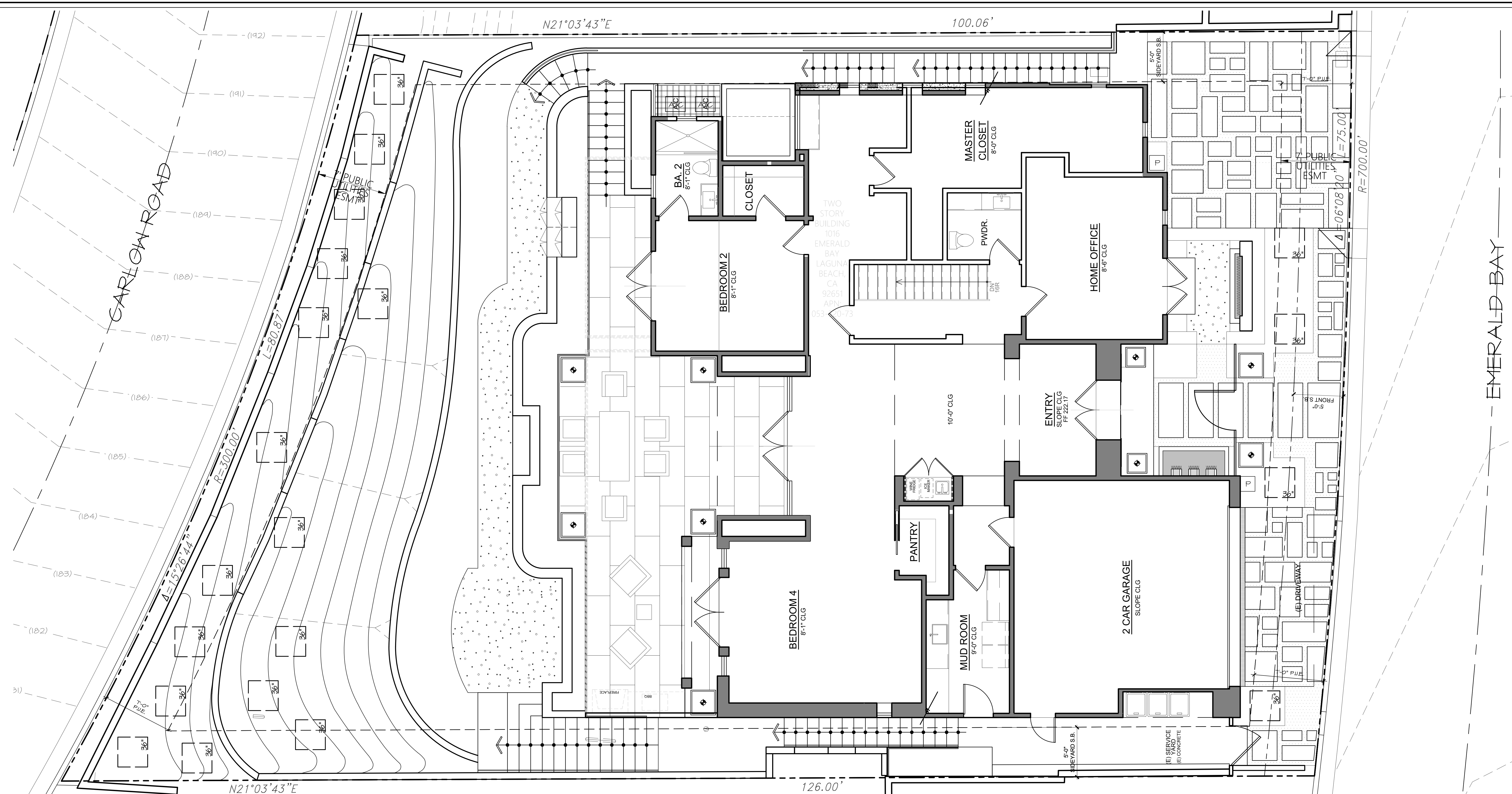
TITLE: LIGHTING PLAN

REVISIONS:

Daniel Stewart & Assoc.
Landscape Architects

2755 CAMINO CAPISTRANO #2
LAGUNA BEACH, CA 92653
TEL: (949) 366-8800 FAX: (949) 366-2675

DATE: 04/20/22
BY: DANIEL STEWART
CHECKED BY: DANIEL STEWART
SCALE: 1/4" = 1'-0"



SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT IDENTIFICATION NUMBER CALL UNDERGROUND SERVICE ALERT.

TOLL FREE 1-800-422-4155
(Two working days before you dig)

IRRIGATION DESIGN NOTES

Install all materials to comply with all applicable codes and ordinances.
 Point of connection at existing water main, verify exact location and water, supply, GPM and PSI.
 The layout shall provide 100% coverage and shall separate turf from shrub/groundcover areas as well as sun from shade areas.
 Provide and install a solid state automatic controller that allows each system to operate independently and locate it inside the garage, or per the owner's direction. Verify whether existing controller may be used.
 Provide all appropriate backflow prevention as required by local codes. Install backflow(s) in shrub/ground cover areas and screen from view with shrubs.
 Adjust spray heads to eliminate overspray onto walks, walls, patios and streets. Provide pressure compensating screens where needed.
 All heads in shrub/ground cover areas adjacent to turf, walks, patios or other paving shall be pop-ups.
 Non pressure laterals shall be PVC class 200 with schedule 40 fittings, threaded fittings to be schedule 80. Drip laterals 12" deep minimum.
 All pipes located under pavement to be installed in schedule 40 sleeves placed prior to paving.
 Whenever possible place control wires, mainline and laterals within the same trench.
 Install drip irrigation to all pots, conceal tubing.

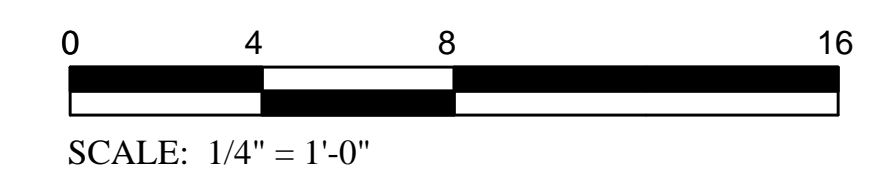
SUGGESTED EQUIPMENT (or equal)

POP-UPS: Rainbird 1800 series
 RISERS: Rainbird PA-95
 SPRAY NOZZLES: Rainbird 1800 series plastic nozzles
 BUBBLERS: Rainbird 1400 series pressure compensating stream bubblers
 CONTROL VALVE: Rainbird PEB series, pressure compensating as required
 GATE VALVE: Nibco T-113
 BACKFLOW PREVENTER: Fetco atmospheric
 CONTROLLER: Hardie touch command, wall mount, with lockable enclosure. Mount in garage or pool equipment area, verify with owner
 DRIP IRRIGATION: Rainbird Xeriscap products, conceal all tubing

IRRIGATION NOTE:
 ALL LANDSCAPE AREAS DESIGNATED TO RECEIVE NEW PLANTINGS ARE TO BE IRRIGATED WITH AN AUTOMATICALLY CONTROLLED SYSTEM USING LOW GALLON SPRAY HEADS. BACKFLOW PREVENTION TO BE PROVIDED PER STATE, CITY AND LOCAL CODES.

GENERAL INSTALLATION NOTES

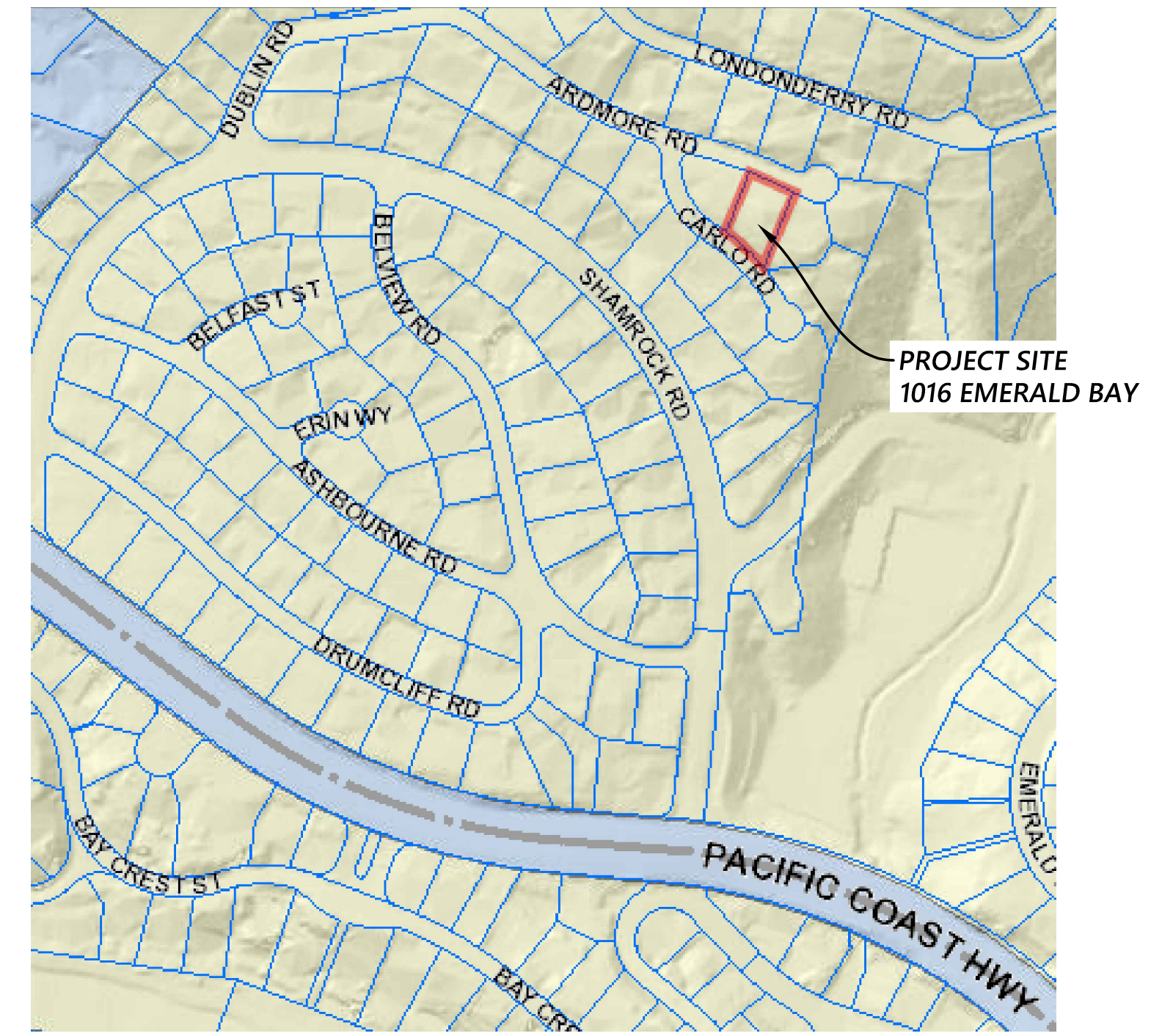
- SPRINKLER IRRIGATION PLAN IS DIAGRAMMATIC. FINAL LOCATION OF PIPING WILL BE DETERMINED AT TIME OF INSTALLATION. MAINLINE AND LATERALS SHALL BE PLACED IN SAME TRENCH WHEN POSSIBLE. EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTED AREAS.
- ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- BACKFLOW PROTECTION UNIT(S) SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES.
- ALL MAINLINE PIPING SHALL HAVE A MINIMUM OF 18" COVER. ALL LATERAL PIPING SHALL BE TRENCHED A MINIMUM OF 12" DEEP. ALL CONTROL WIRE GOING UNDER DRIVEWAYS SHALL BE SLEAVED IN A PVC PIPE. LATERAL PIPING GOING UNDER DRIVEWAYS SHALL BE SCHEDULE 40 PVC.
- ALL VALVE CONTROL WIRE SHALL BE INSTALLED IN SAME TRENCH WITH MAINLINE WHEREVER POSSIBLE AND SHALL BE SOLID COPPER, AWG #14, TYPE UF, DIRECT BURIAL WIRE, USING SNAP-TITE OR SCOTCH-LOC WIRE CONNECTORS.
- ALL TRENCH BACKFILL SOIL SHALL BE CLEAN, FREE OF ROCKS, TRASH, GLASS, SOLVENT AND CEMENT CONTAINERS AND RAGS. ALL TRENCHES SHALL BE COMPACTED TO A DENSITY EQUAL TO THE UNDISTURBED SOIL AND SHALL BE BACKFILLED TO FINISH GRADE.
- FLUSH ALL PIPE LINES PRIOR TO INSTALLING SPRINKLER HEADS.
- INSTALL VALVE BOXES AT GRADE OVER ALL ELECTRIC VALVES AND INSTALL ANTI-DRAIN VALVES AS NECESSARY TO PREVENT LOW HEAD DRAINAGE EROSION OR DAMAGE.
- ADJUST ALL SPRINKLERS AND VALVES FOR PROPER OPERATION AND COVERAGE. SPRINKLERS ALONG STREET CURBING AND DRIVEWAYS SHALL BE SET BACK 24" INCHES PER CYND. ALL SPRINKLERS SHALL BE ADJUSTED SO THAT NO WATER IS THROWN ONTO STRUCTURES OR NATURAL FACED MASONRY WALLS, NO OVERTHROW IS PERMITTED ON HARDSCAPE.
- THERE SHALL BE TWO BUBBLERS PROVIDED AT THE EDGE OF THE ROOT BALL FOR EACH FIELD GROWN OR 24" AND LARGER BOXED TREE OR OTHER TREE AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.



HANSEN RESIDENCE 1016 EMERALD BAY LAGUNA BEACH, CA	SHEET: 8
	CLIENT: 21-134 JOB NUMBER: 4-20-22 DATE: 4-20-22 DRAWN BY: LY SCALE: 1/4" = 1'-0"
TITLE: IRRIGATION PLAN	REVISIONS:
Daniel Stewart & Assoc. Landscape Architects	
2755 CAMINO CAPSTRANO #2 LAGUNA BEACH, CA 92651 TEL: (949) 361-8888 FAX: (949) 361-2675	

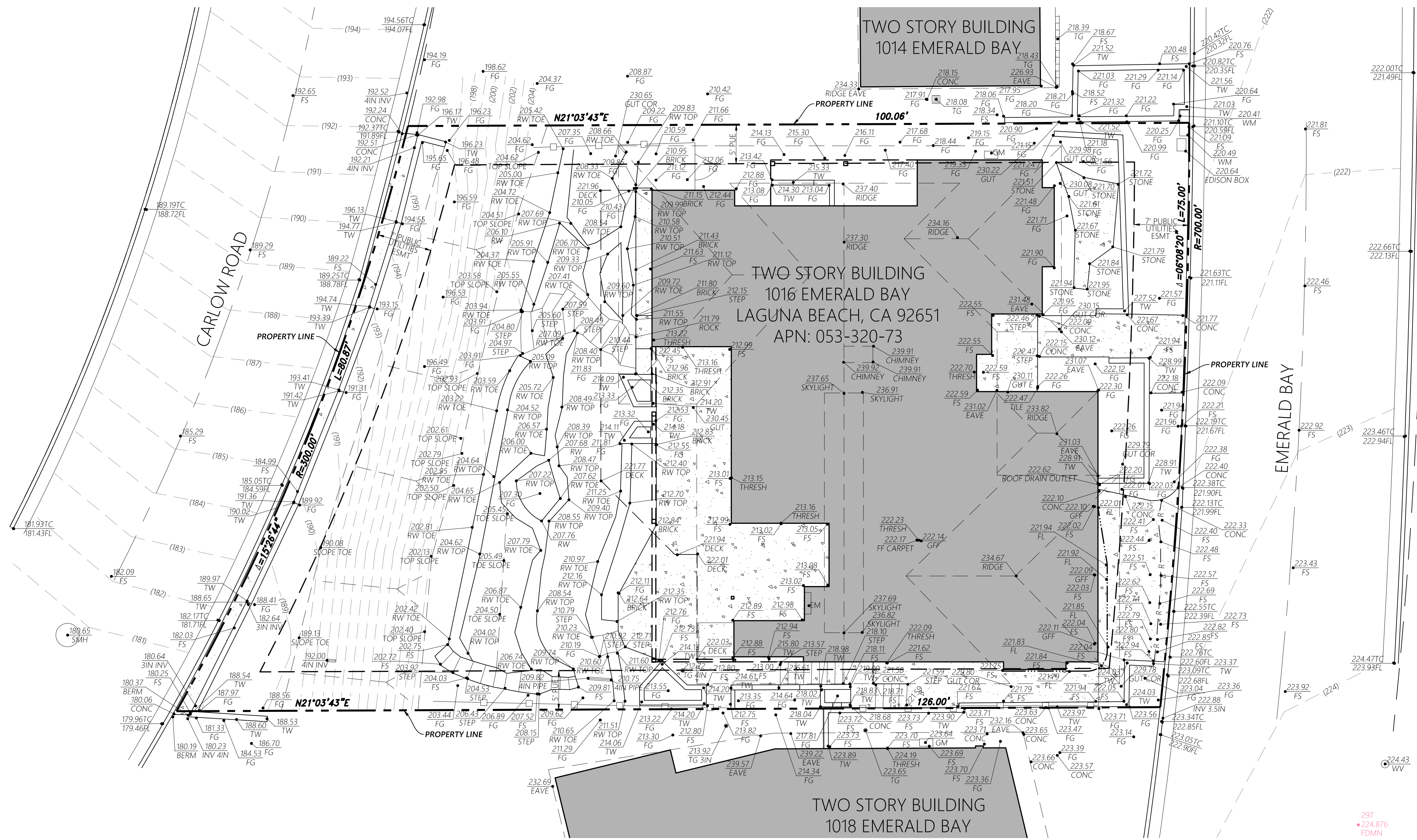
CITY OF LAGUNA BEACH, CALIFORNIA
 COUNTY OF ORANGE
TOPOGRAPHIC MAP

1016 EMERALD BAY
 APN: 053-320-73



VICINITY MAP

NO SCALE



LEGEND

- BERM BERM
 - BRICK EDGE OF BRICK
 - CONC EDGE OF CONCRETE
 - DECK EDGE OF DECK ABOVE
 - EAVE EAVE OF ROOF
 - EM ELECTRICAL METER
 - FF FINISHED FLOOR
 - FG FINISHED GRADE
 - FS FINISHED SURFACE
 - FL FLOWLINE
 - GM GAS METER
 - GFF GARAGE FINISHED FLOOR
 - INV INVERT
 - NG NATURAL GRADE
 - RIDGE RIDGE OF ROOF
 - RW ROCK WALL
 - STEP EDGE OF STEP
 - SMH SEWER MANHOLE
 - THRESH EDGE OF THRESHOLD
 - TILE EDGE OF TILE
 - TOP TOP OF SLOPE
 - TOE TOE OF SLOPE
 - TC TOP OF CURB
 - TW TOP OF WALL
 - WM WATER METER
 - WV WATER VALVE
-
- HARDSCAPE
 - BUILDING WALL
 - LOT LINE
 - BOUNDARY LINE
 - RIGHT-OF-WAY
 - WALL
 - EASEMENT LINE
 - EAVE/RIDGE OF ROOF
 - EXISTING CONTOUR
 - EDGE OF SLOPE
 - STREET CENTERLINE
 - FENCE
 - EDGE OF BUILDING ABOVE

SITE DATA:

SITE ADDRESS: 1016 EMERALD BAY, LAGUNA BEACH
 APN: 053-320-73
 ZONING: R1(CD)(SR)

BENCHMARK

BENCHMARK: E-783
 DESCRIBED BY OCS 2003 - FOUND 3 3/4" USCGS BRONZED DISK STAMPED "E 783 1946", SET IN THE TOP OF A CONCRETE POST. MONUMENT IS LOCATED ALONG THE SOUTHWESTERLY SIDE OF PACIFIC COAST HIGHWAY, 36 FT. SOUTHERLY OF THE SOUTHBOUND LANES ALONG PCH. IN THE WESTERLY CORNER OF THE JUNCTION OF PCH AND THE ENTRANCE TO EMERALD BAY HOMES NUMBERED (105-113). 13 FT. NORTHERLY OF THE NORTHERLY MOST 1 OF 2 STONE GATE POSTS AND 1.7 MILES NORTHWESTERLY ALONG PCH FROM THE CENTERLINE OF BROADWAY. MONUMENT IS SET 0.1 FT. BELOW THE HIGHWAY.

LEGAL DESCRIPTION

LOT 62 OF TRACT 3125, BOOK 98, PAGES 8-10, M.M.

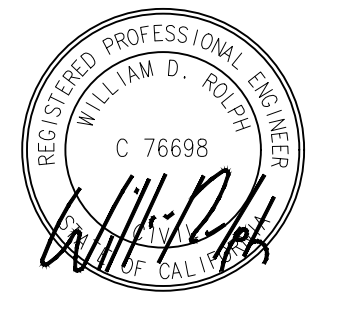
APN: 053-320-73

SURVEY NOTES

- THIS MAP IS FOR PRELIMINARY PURPOSES ONLY. THIS MAP IS NOT A BOUNDARY SURVEY. BOUNDARY LINES AND PROPERTY LINES SHALL NOT BE RELIED UPON FOR CONSTRUCTION, ENCROACHMENTS, OR SETBACKS.
- NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THIS OFFICE.
- PRELIMINARY TITLE REPORT IS NOT AVAILABLE AT THIS TIME. THERE MAY BE EASEMENTS PRESENT ON THE SUBJECT PROPERTY.

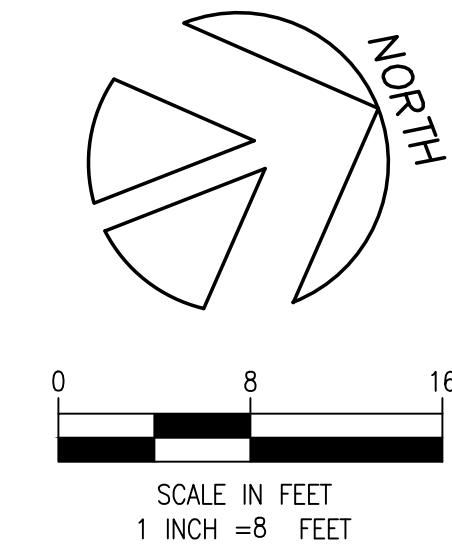
**TOPOGRAPHIC MAP
 FOR
 EXISTING RESIDENCE**
 1016 EMERALD BAY
 LAGUNA BEACH, CA 92651

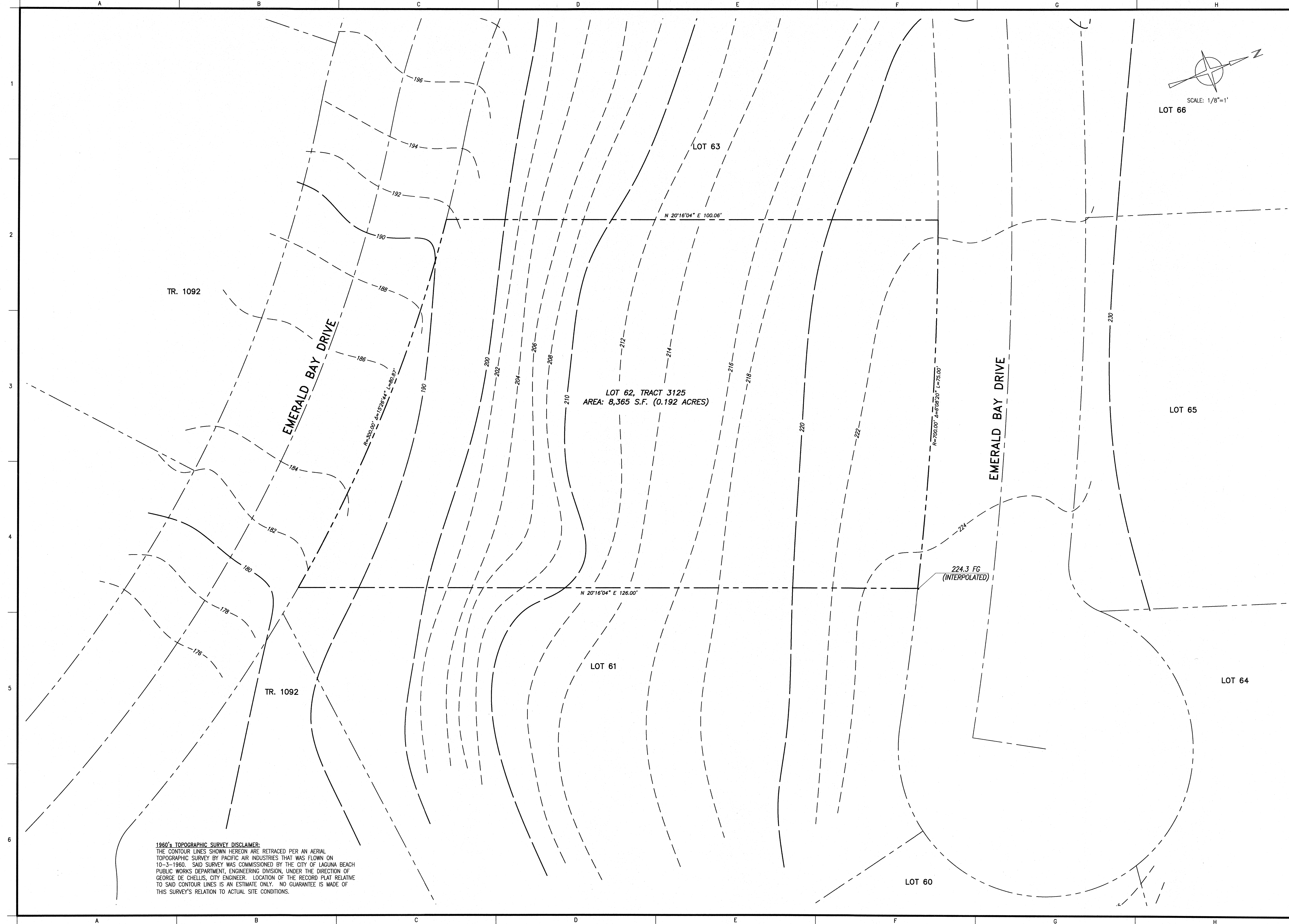
NO.	REVISION	DATE



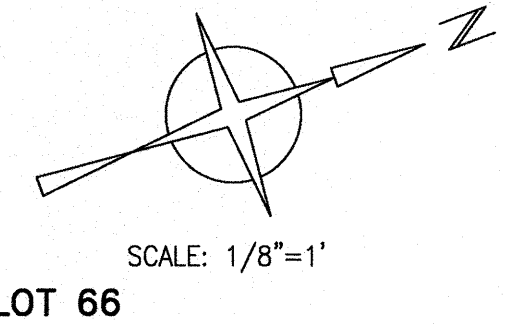
JOB NO. 21028
 DATE 10/5/2021
 SHEET NO.

TOPO





1960's TOPOGRAPHIC SURVEY DISCLAIMER:
 THE CONTOUR LINES SHOWN HEREON ARE RETRACED PER AN AERIAL TOPOGRAPHIC SURVEY BY PACIFIC AIR INDUSTRIES THAT WAS FLOWN ON 10-3-1960. SAID SURVEY WAS COMMISSIONED BY THE CITY OF LAGUNA BEACH PUBLIC WORKS DEPARTMENT, ENGINEERING DIVISION, UNDER THE DIRECTION OF GEORGE DE CHELLIS, CITY ENGINEER. LOCATION OF THE RECORD PLAT RELATIVE TO SAID CONTOUR LINES IS AN ESTIMATE ONLY. NO GUARANTEE IS MADE OF THIS SURVEY'S RELATION TO ACTUAL SITE CONDITIONS.



PLANS PREPARED BY:
TOAL
 ENGINEERING, INC.
 CIVIL ENGINEERING
 LAND SURVEYING
 STORMWATER QUALITY
 139 Avenida Navarro
 San Clemente, CA 92672
 949.492.8588
 www.toalengineering.com



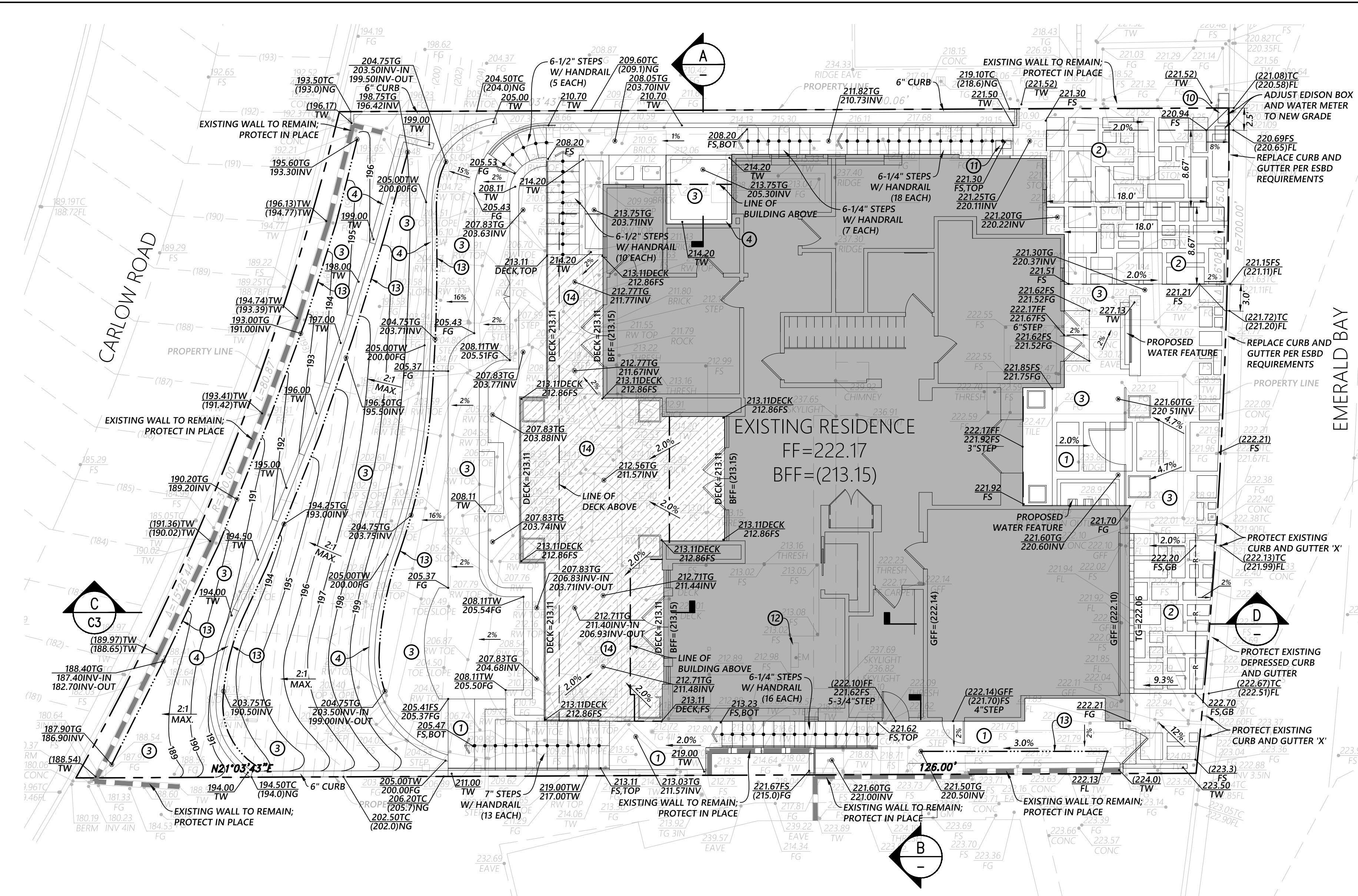
Viktor P. Meum
 VIKTOR P. MEUM
 P.L.S. 8682
 DATE: 12-30-2021

PREPARED FOR:
 C.J. LIGHT ASSOCIATES

NO.	DATE	APVD.	DATE	BY	REVISIONS

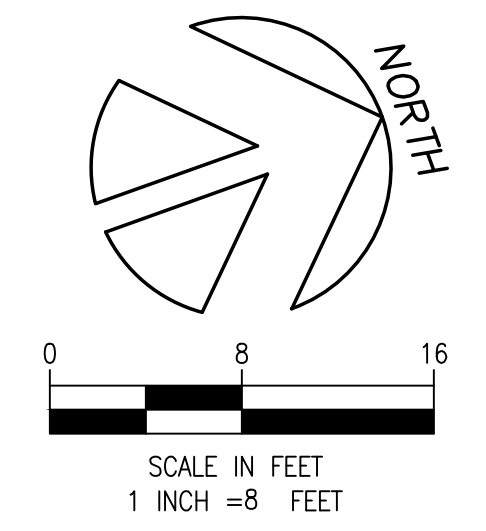
1016 EMERALD BAY
1960 TOPOGRAPHIC SURVEY
 LOT 62, TRACT NO. 3125
 1016 EMERALD BAY, ORANGE COUNTY, CA

DATE:	12/30/21	H. SCALE:	1"=8'
SURVEY DATE:	1960	V. SCALE:	N/A
DRN.:	A.M.S.	DWG. NO.:	
CHD.:	V.M.		
APPD.:	V.M.		
JOB NO.:	21138	SHEET	1
		OF	1



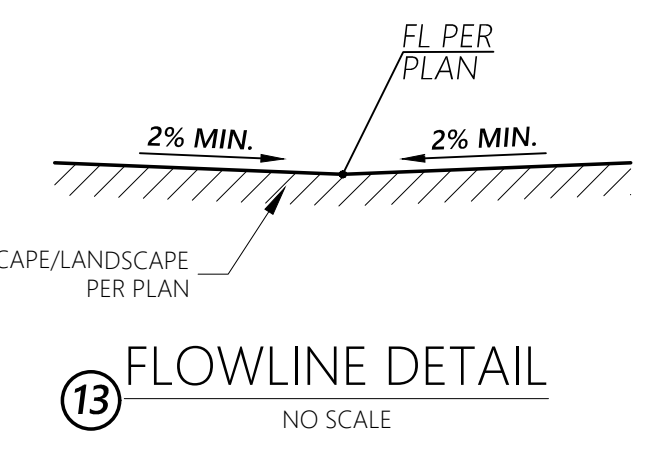
LEGEND

- CATV CABLE PULLBOX
 - CONC EDGE OF CONCRETE
 - DECK TOP OF DECKING
 - EAVE EAVE OF ROOF
 - EDISON EDISON UTILITY BOX
 - EM ELECTRIC METER
 - FF FINISHED FLOOR
 - FG FINISHED GRADE
 - FL FLOWLINE
 - GB GRADEBREAK
 - GFF GARAGE FINISHED FLOOR
 - GM GAS METER
 - INV INVERT
 - NG NATURAL GRADE
 - RIDGE RIDGE OF ROOF
 - SCO SEWER CLEANOUT
 - SMH SEWER MANHOLE
 - STEP EDGE OF STEP
 - TC TOP OF CURB
 - TG TOP OF GRATE
 - THRESH EDGE OF THRESHOLD
 - TW TOP OF WALL
 - WM WATER METER
 - WV WATER VALVE
- TILE SUPPORTED ON PEDESTAL SYSTEM OVER SLOPED CONCRETE BASE PER LS ARCH. PLAN
 - PROPERTY LINE AND LIMIT-OF-WORK
 - PROPOSED WALL
 - EXISTING WALL TO REMAIN
 - BUILDING STEMWALL
 - EXISTING ELEVATION; CONTRACTOR SHALL FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CIVILSCAPES ENGINEERING



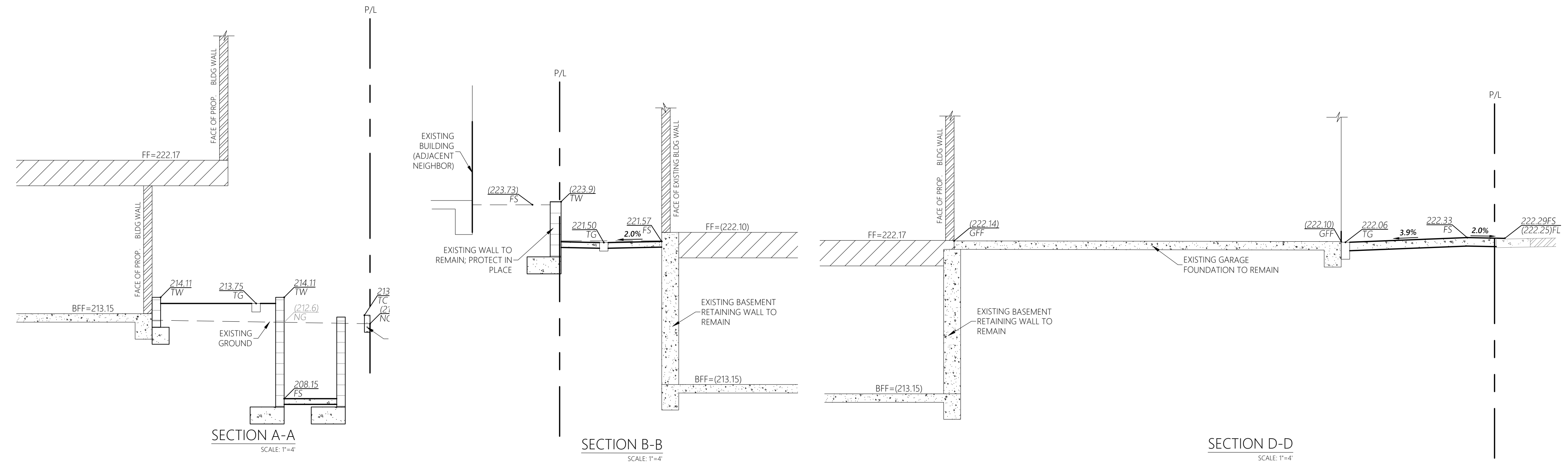
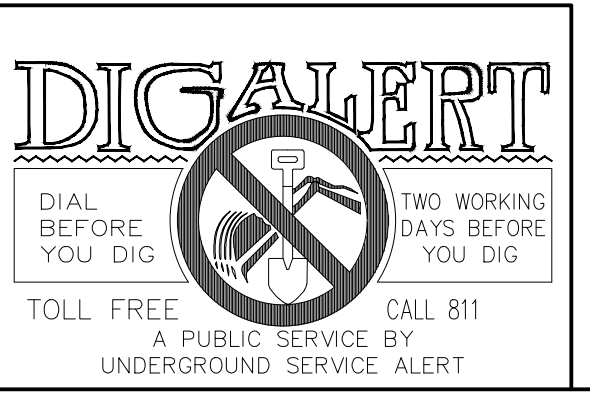
CONSTRUCTION NOTES

- ① HARDSCAPE PER ARCHITECT'S PLAN.
- ② DRIVEWAY PER ARCHITECT'S PLAN.
- ③ PLANTER AREA PER ARCHITECT'S PLAN.
- ④ WALL OR FENCE PER ARCHITECT'S PLAN.
- ⑤ CONNECT DOWNSPOUT TO ONSITE STORM DRAIN SYSTEM PER DETAIL ON SHEET C3.
- ⑩ IF EXISTING METER IS SUBSTANDARD, REMOVE AND REINSTALL 1-INCH WATER METER. PROTECT SERVICE LINE FROM METER TO WATER MAIN. METER AND SERVICE SIZE SHALL BE CONFIRMED BY MEP CONSULTANT.
- ⑪ EXISTING GAS METER TO REMAIN; PROTECT IN PLACE.
- ⑫ REMOVE AND REINSTALL ELECTRIC SERVICE AND METER PER ELECTRIC COMPANY'S STANDARDS AND SPECIFICATIONS.
- ⑬ CONSTRUCT FLOWLINE PER DETAIL HEREON.
- ⑭ PERMEABLE FLAT DECKING SUPPORTED ON PEDESTAL SYSTEM OVER SLOPED CONCRETE SUBGRADE PER LANDSCAPE ARCHITECT'S PLANS.



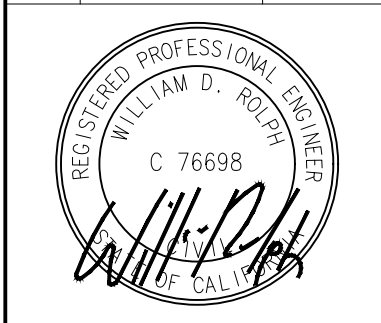
CIVILSCAPES
 ENGINEERING
 28052 CAMINO CAPISTRANO, STE 213
 LAGUNA NIGUEL, CA 92677
 949.464.8115 info@civilscales.com

**PRECISE GRADING PLAN
 FOR CUSTOM RESIDENCE
 GRADING PLAN**
 1016 EMERALD BAY
 LAGUNA BEACH, CA 92651

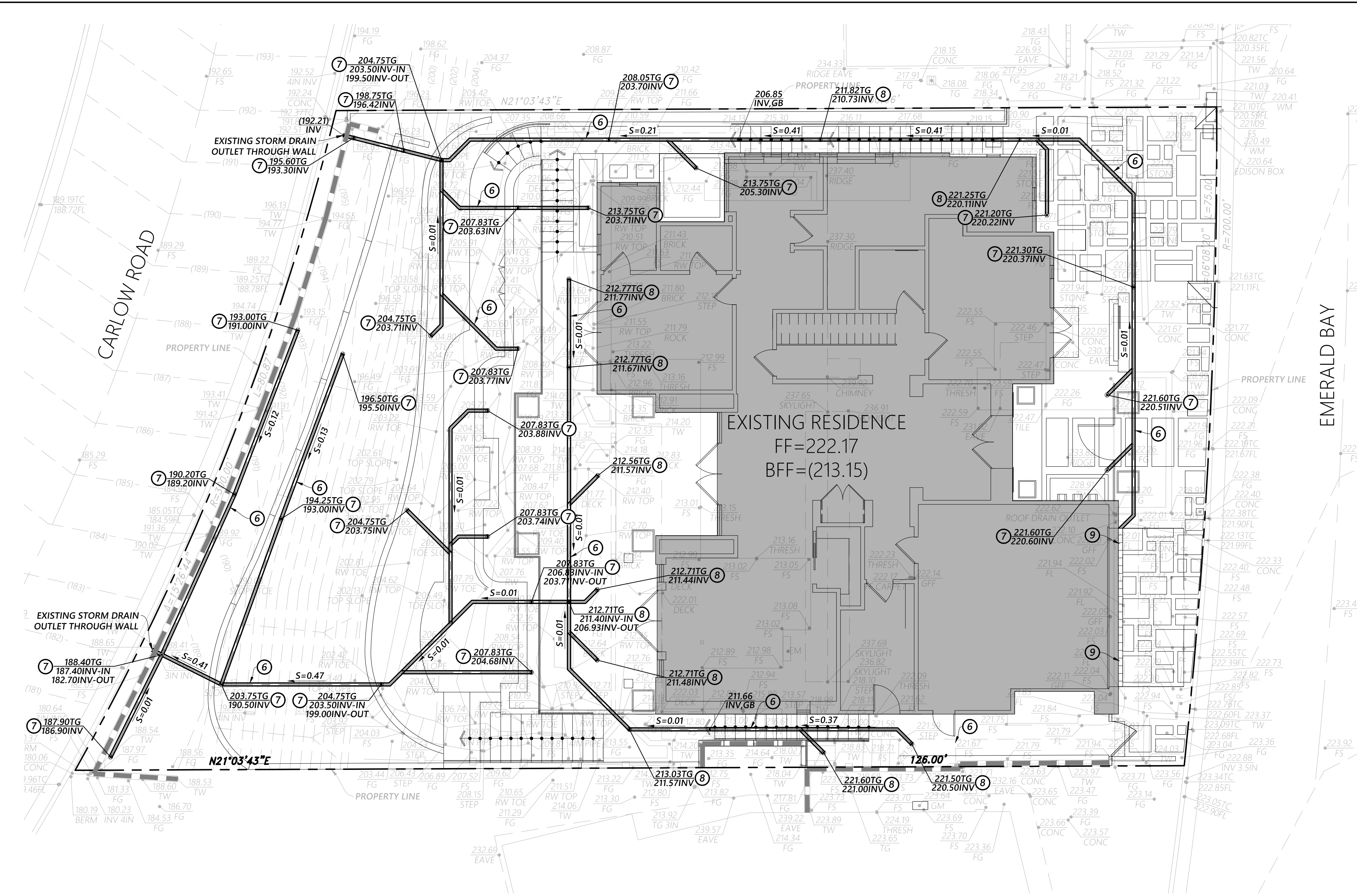


REVISIONS		
NO.	REVISION	DATE

JOB NO.	21028
DATE	4/29/2022
SHEET NO.	C2
SHEET NO. 2 OF 4	

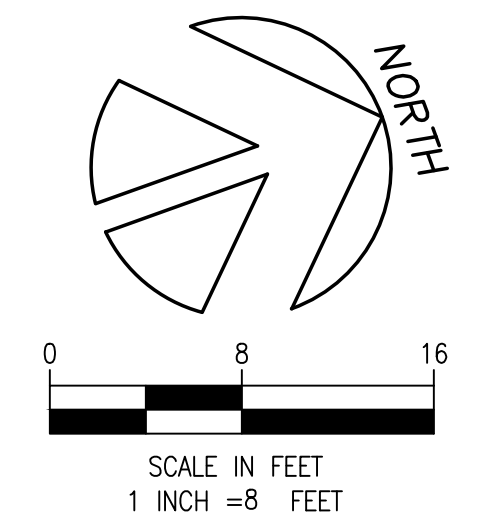


C:\Project\21028_1016 Emerald Bay\LEI\DWG\21028_GRADING.dwg



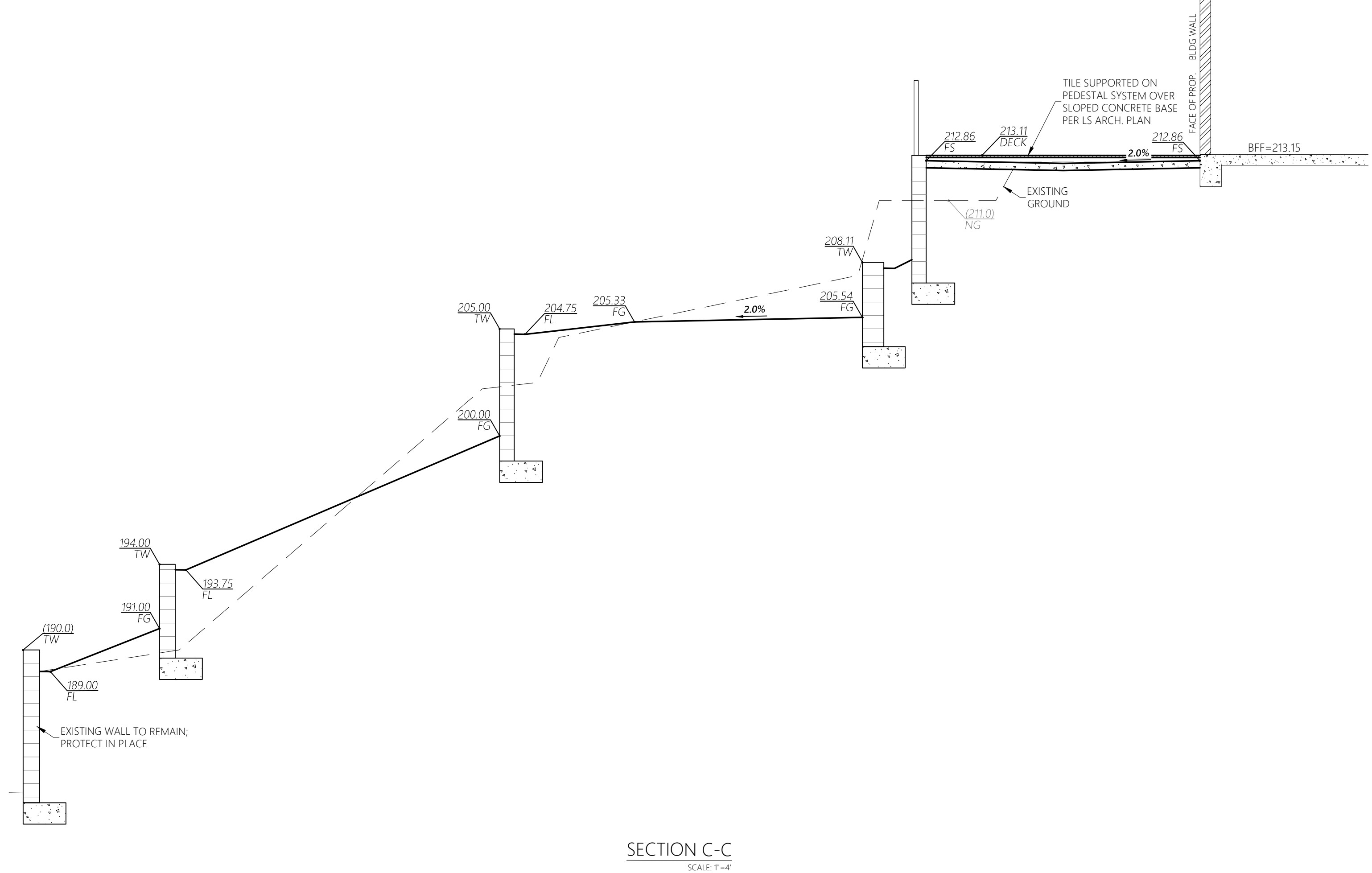
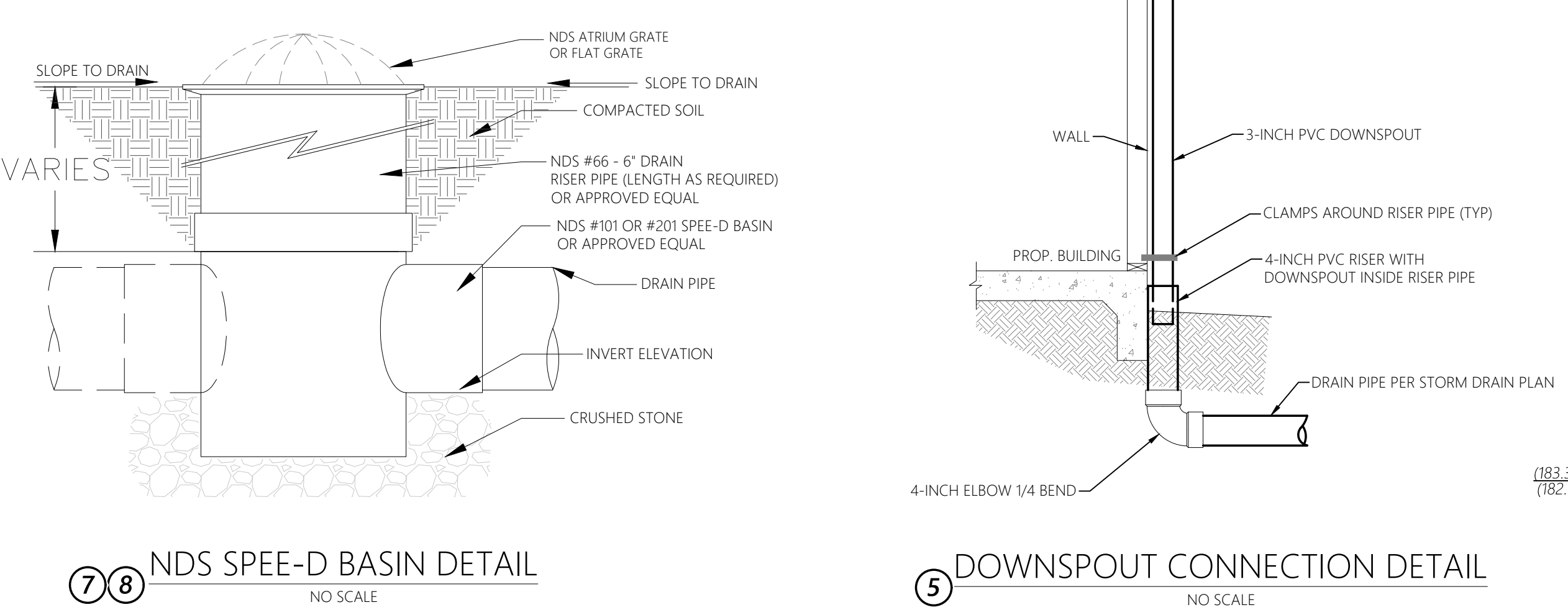
LEGEND

- CATV CABLE PULLBOX
 - CONC EDGE OF CONCRETE
 - DECK TOP OF DECKING
 - EAVE EAVE OF ROOF
 - EDISON EDISON UTILITY BOX
 - EM ELECTRIC METER
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 - TG TOP OF GRATE
 - THRESH EDGE OF THRESHOLD
 - TW TOP OF WALL
 - WM WATER METER
 - WV WATER VALVE
- PROPERTY LINE AND LIMIT-OF-WORK
 - - - PROPOSED WALL
 - ▬ EXISTING WALL TO REMAIN
 - ▨ BUILDING STEMWALL
- (102.6)
OR
102.6



CONSTRUCTION NOTES

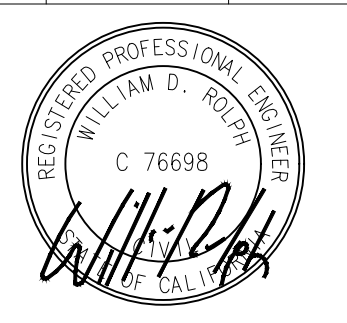
- 5 CONNECT DOWNSPOUT TO ONSITE STORM DRAIN SYSTEM PER DETAIL HEREON.
- 6 FURNISH & INSTALL 4-INCH SCH-40 PVC STORM DRAIN (OR APPROVED EQUAL) PER CPC. INCLUDE REQUIRED JOINTS AND FITTINGS PER CPC. CONSTRUCT TRENCH, BEDDING, AND BACKFILL PER ASTM D 2321 AND SOILS REPORT.
- 7 FURNISH & INSTALL 6" NDS SPEE-D BASIN W/6" GREEN ATRIUM GRATE PER DETAIL HEREON.
- 8 FURNISH & INSTALL 6" NDS SPEE-D BASIN W/6" BRASS SQUARE GRATE PER DETAIL HEREON.
- 9 6-INCH WIDE NDS TRENCH DRAIN W/ TRAFFIC RATED GRATE.

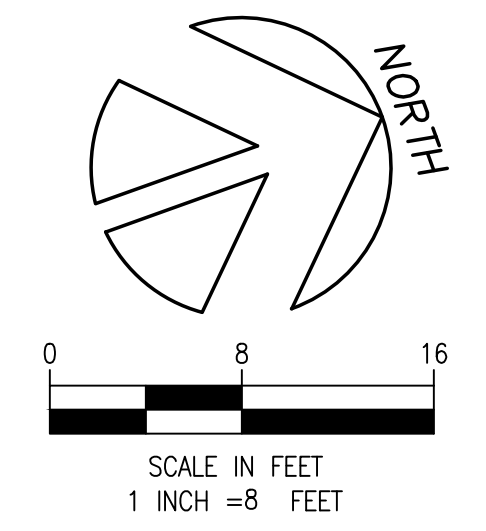
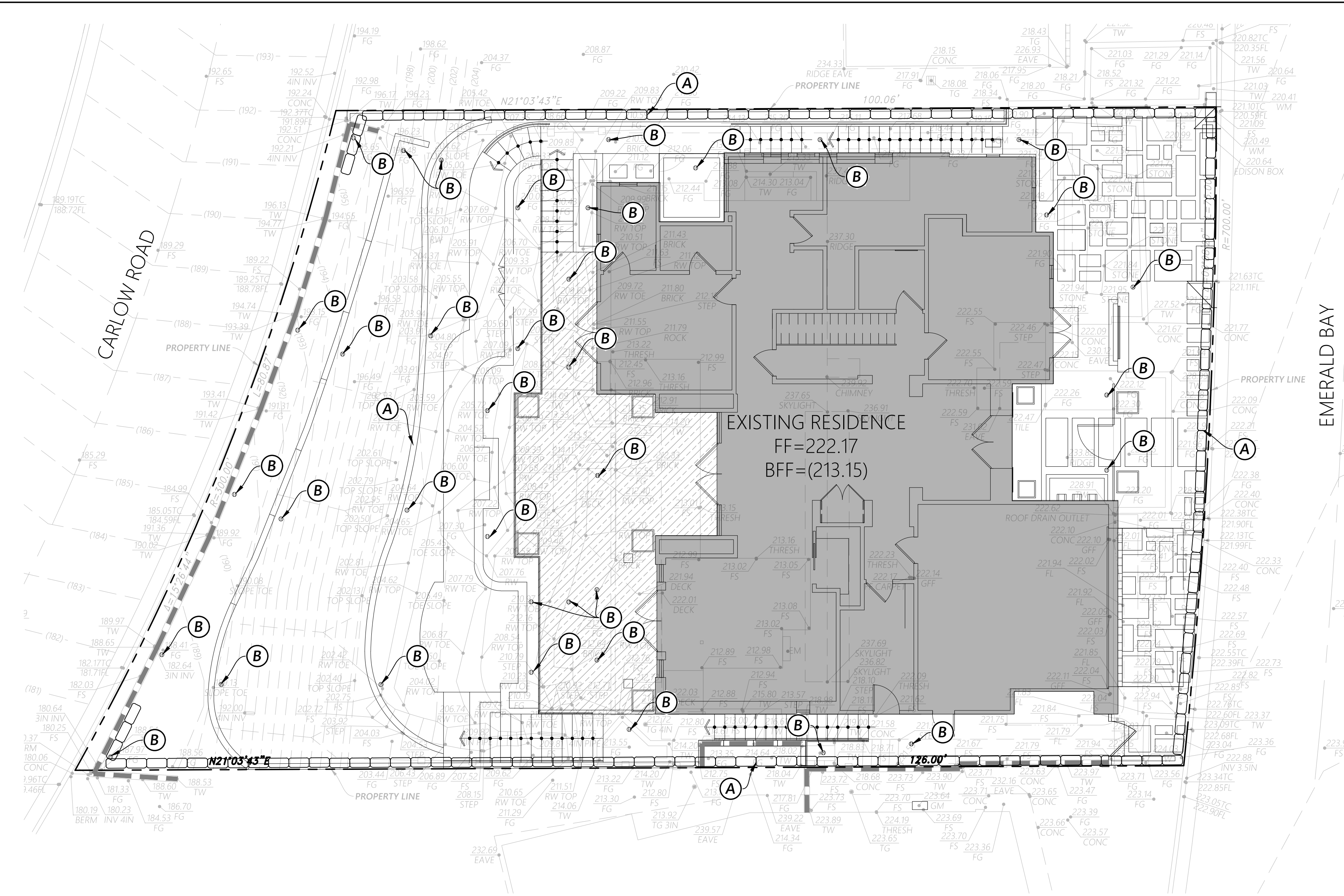


**PRECISE GRADING PLAN
FOR CUSTOM RESIDENCE
STORM DRAIN PLAN**
1016 EMERALD BAY
LAGUNA BEACH, CA 92651

REVISIONS		
NO.	REVISION	DATE

JOB NO. 21028
DATE 4/29/2022
SHEET NO. **C3**
SHEET NO. 3 OF 4



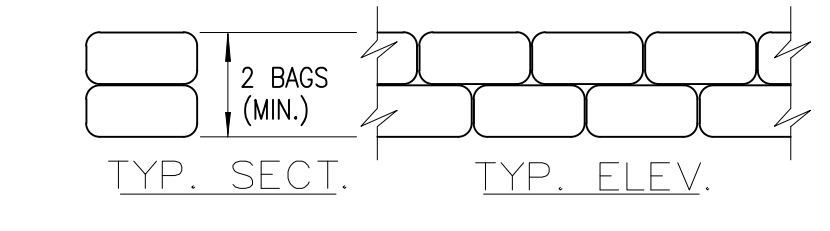


EROSION CONTROL CONSTRUCTION NOTES

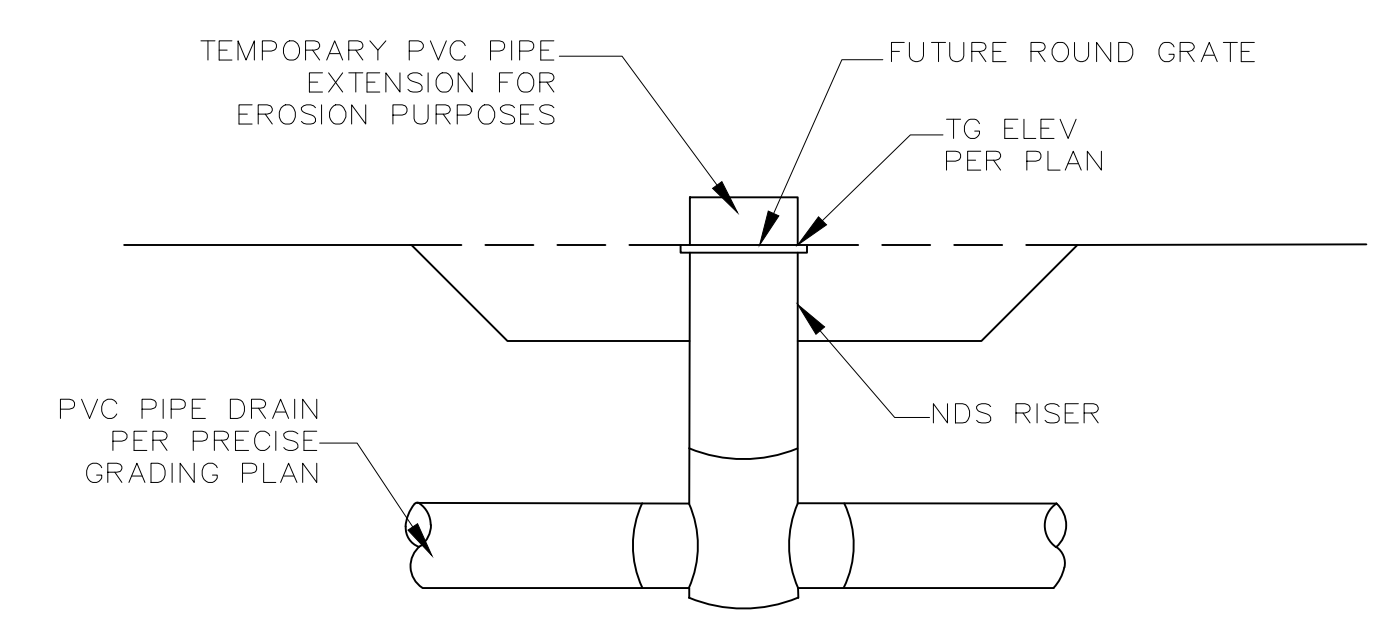
- (A) INSTALL GRAVEL BAG BARRIER PER CASQA SE-8 AND SE-6
- (B) INLET PROTECTION PER DETAIL HEREON

NOTES:

1. CONTRACTOR SHALL PROVIDE ONSITE CONCRETE WASHOUT FACILITY AND COMPLY WITH CASQA BMP WM-8.
2. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
3. SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OF ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
3. APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.



(A) GRAVEL BAG DETAIL
NO SCALE



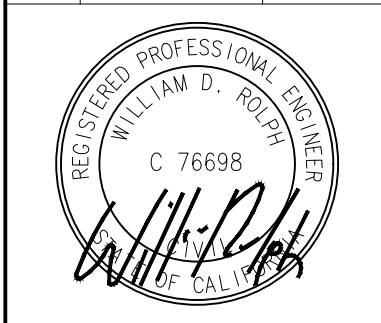
(B) AREA DRAIN INLET PROJECTION
NO SCALE



CIVILSCAPES
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 28052 CAMINO CAPISTRANO, STE 213
 LAGUNA NIGUEL, CA 92677
 949.464.8115 info@civilscales.com

**PRECISE GRADING PLAN
 FOR CUSTOM RESIDENCE
 EROSION CONTROL PLAN**
 1016 EMERALD BAY
 LAGUNA BEACH, CA 92651

NO.	REVISION	DATE



JOB NO. 21028
 DATE 4/29/2022
 SHEET NO.

C4